

PARKING LOT EXPANSION AND IMPROVEMENTS

GOODINGS GROVE SCHOOL 12914 WEST 143RD STREET HOMER GLEN, ILLINOIS 60491

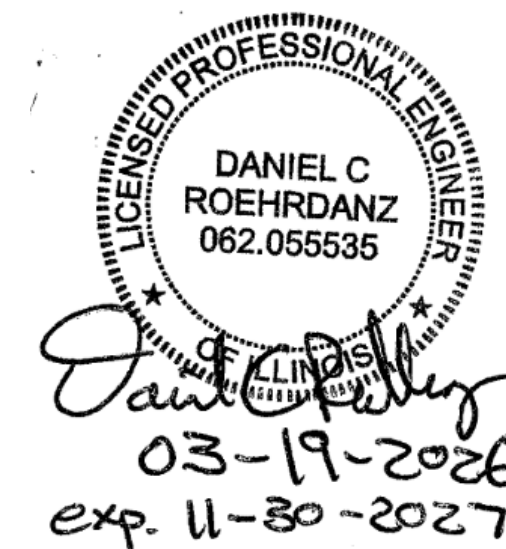
PARTICIPANTS

OWNER:

HOMER COMMUNITY
CONSOLIDATED SCHOOL DISTRICT 33C
15733 BELL ROAD
HOMER GLEN, ILLINOIS 60491

CIVIL ENGINEER:

INSPEC, INC.
ENGINEERS/ARCHITECTS
8618 WEST CATALPA AVE
SUITE 1109
CHICAGO, ILLINOIS 60656
(773)-444-0206



CIVIL ENGINEER:

MERIT CORP GROUP, LLC.
ENGINEERS-PLANNING-LAND SURVEYING
4222 MERIDIAN PARKWAY, SUITE 112
AURORA, ILLINOIS 60504
(630)-554-6655



MERIT CORP GROUP, LLC.
PROJECT ENGINEER
TODD ROBERTS, P.E.
troberts@meritcorp.com

LIST OF DRAWINGS DESIGNED BY INSPEC, INC.

- C1 TITLE SHEET, LIST OF DRAWINGS, AND SUMMARY OF WORK
- C2 GENERAL PROJECT NOTES, KEY PLAN, AND LEGEND
- C3 TO C5 TOPOGRAPHIC SURVEY (THREE SHEETS)
- C6 FOR PLAN REVIEW PURPOSES ONLY - SITE PLAN WITH SITE AND STRUCTURE BULK STANDARDS AND PARKING STANDARDS
- C7 FOR PLAN REVIEW PURPOSES ONLY - TREE PRESERVATION AND INFORMATION EXISTING CONDITIONS SITE PLAN
- C8 FOR PLAN REVIEW PURPOSES ONLY - SITE PLAN WITH LIGHT POLE LOCATIONS AND PHOTOMETRIC PLAN
- C10 FOR PLAN REVIEW PURPOSES ONLY - NEW OVERALL SITE PLAN OF 2026 PARKING LOT EXPANSION AND FUTURE POST CONSTRUCTION
- C11 FOR PLAN REVIEW PURPOSES ONLY - EXISTING CONDITIONS WATERSHED AREA TO NEW BIOFILTRATION FOR NORTH PARKING LOT EXPANSION
- C12 FOR PLAN REVIEW PURPOSES ONLY - NEW CONDITIONS WATERSHED AREA TO NEW BIOFILTRATION FOR NORTH PARKING LOT EXPANSION - 2026 POST CONSTRUCTION
- C13 FOR PLAN REVIEW PURPOSES ONLY - NEW CONDITIONS WATERSHED AREA TO NEW BIOFILTRATION FOR NORTH PARKING LOT EXPANSION - FUTURE POST CONSTRUCTION
- C14 FOR PLAN REVIEW PURPOSES ONLY - EXISTING CONDITIONS WATERSHED AREAS FOR WHOLE SITE
- C15 FOR PLAN REVIEW PURPOSES ONLY - NEW CONDITIONS - 2026 POST CONSTRUCTION WATERSHED AREAS FOR WHOLE SITE
- C16 FOR PLAN REVIEW PURPOSES ONLY - NEW CONDITIONS - FUTURE POST CONSTRUCTION WATERSHED AREAS FOR WHOLE SITE
- C20 AREA A - EROSION CONTROL PLAN
- C21 AREA A - REMOVAL PLAN
- C22 AREA A - NEW CONDITIONS - SITE PLAN

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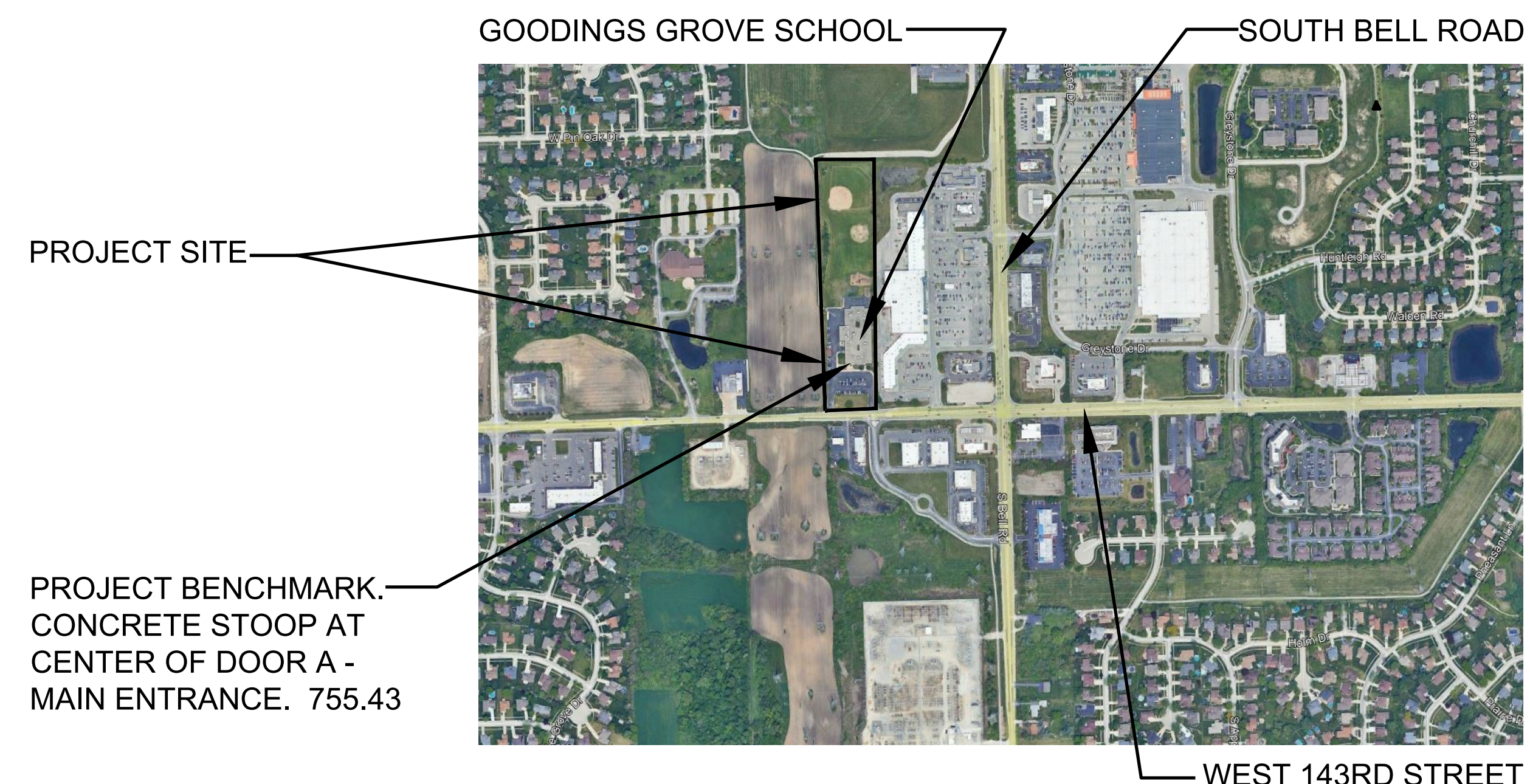
- C23 AREA A - NEW CONDITIONS - GRADING PLAN
- C24 AREA A - NEW CONDITIONS - PLUMBING PLAN WITH UTILITIES
- C25 AREA A - NEW CONDITIONS - STRIPING AND SIGNAGE PLAN
- C26 AREA A - NEW CONDITIONS - LANDSCAPE PLAN
- C27 AREA B - EROSION CONTROL PLAN
- C28 AREA B - REMOVAL PLAN
- C29 AREA B - NEW CONDITIONS - SITE PLAN
- C30 AREA B - NEW CONDITIONS - GRADING PLAN
- C31 AREA B - NEW CONDITIONS - STRIPING AND SIGNAGE PLAN
- C32 AREA B - NEW CONDITIONS - LANDSCAPE PLAN
- C60 TO C64 DETAILS

LIST OF DRAWINGS DESIGNED BY MERIT CORP GROUP, LLC.

- C50 AREA B - NEW CONDITIONS - STORM SEWER PLAN
- C51 AREA B - NEW CONDITIONS - DETENTION DETAILS
- C52 AREA B - NEW CONDITIONS - STANDARD CONSTRUCTION NOTES
- C53 AREA B - NEW CONDITIONS - DETAILS

SUMMARY OF WORK

1. BASE BID: ALL WORK SHOWN MINUS THE ALTERNATES (IF ANY). GENERALLY THIS WORK INCLUDES THE NORTH PARKING LOT EXPANSION, REGRADING OF NORTH END OF SITE, AND BIOFILTRATION STORMWATER DEVICE.
2. ALTERNATE 1: ALL WORK SHOWN FOR SOUTH PARKING LOT RECONSTRUCTION, BELOW GRADE STORM WATER DETENTION SYSTEM, AND UPSIZING STORM SEWER PIPES IN WEST PARKING LOT.
3. ALTERNATE 2: ADDITIONAL SIDEWALK AND CURB AND GUTTER REPLACEMENT AT EAST SIDE OF SOUTH PARKING LOT. THIS WORK INCLUDES GRASS RESTORATION WORK ALONG BACK OF SIDEWALK.
4. ALTERNATE 3: REPAVE 20'-0" WIDE CONSTRUCTION ACCESS DRIVE (SHOWN DASHED) WITH 4" THICK ASPHALT, TWO LIFTS, OVER EXISTING STONE. SAWCUT AND REMOVE EXISTING ASPHALT AND STONE AS NECESSARY TO PROVIDE 4" NEW ASPHALT PAVEMENT. AREA IS 1,110 SQUARE YARDS (SHOWN ON DRAWING C29).
5. SEE KEY PLAN ON C2 FOR BASE BID AND ALTERNATES 1, 2, AND 3 LOCATIONS.



LOCATION MAP



Signature:

Issues and revisions:

ISSUE LEVEL / REVISION:	DATE:	No.:
98% COMPLETE	04/18/2025	
REVISED LAYOUT	12/03/2025	
VILLAGE OF HOMER GLEN PLAN		
PLAN REVIEW SUBMITTAL	12/15/2025	
SWMP UPDATE WITH PLAN		
COMMISSION REQUESTED		
BULK REGS AND TREE PRES.	03/12/2026	
BID SET	03/19/2026	

Client:

HOMER COMMUNITY
CONSOLIDATED SCHOOL
DISTRICT 33C

GOODINGS GROVE
SCHOOL

Project title:

PARKING LOT EXPANSION
AND IMPROVEMENTS

12914 W 143RD STREET
HOMER GLEN, ILLINOIS 60491

Sheet content:

TITLE SHEET, LIST OF DRAWINGS,
AND SUMMARY OF WORK

DATE: 03/19/2026
CLIENT PROJECT No.: -
INSPEC PROJECT No.: 301918
PROJECT MGR: DR
DRAWN BY: TR
CHECKED BY: DR

Sheet No.:

C1

LEGEND FOR DRAWINGS C6-C32:

- EXISTING CONSTRUCTION
- NEW CONSTRUCTION
- PROPERTY LINE
- EXISTING DRAINAGE SWALE IN GRASS
- NEW DRAINAGE SWALE IN GRASS
- PAVEMENT STRIPING
- EXISTING BUILDING
- GRADING AND RESTORATION LIMITS
- 697 --- EXISTING CONTOUR
- 697 — NEW CONTOUR
- (697.40) NEW SPOT ELEVATION - TOP OF NEW PAVEMENT OR FINISHED GRADE
- × 697.49 EXISTING SPOT ELEVATION
- (697.40 T.O.W.) (693.40 F.G.) TOP OF WALL FINISHED GRADE AT BASE OF WALL
- STORM — STORM EXISTING STORM SEWER
- NEW X" CONCRETE STORM STORM NEW STORM SEWER
- DT — DT — DT — DT NEW DRAIN TILE LINE
- ELEC — ELEC EXISTING ELECTRIC LINE OR CONDUIT
- SAN — SAN EXISTING SANITARY SEWER
- GAS — GAS EXISTING GAS LINE
- TELE — TELE EXISTING TELEPHONE LINE
- FIBER — FIBER EXISTING FIBER OPTIC LINE
- WATER — WATER EXISTING WATER LINE
- CABLE TV — CABLE TV EXISTING CABLE TV LINE
- S SIGN
- LP EXISTING LIGHT POLE
- NLP NEW LIGHT POLE
- EXISTING DECIDUOUS TREE
- EXISTING EVERGREEN TREE

GENERAL PROJECT NOTES

1. VERIFY MEASUREMENTS AND CONDITIONS ON THE PROJECT.
2. REVIEW SPECIFICATIONS FOR INSTRUCTIONS NOT SHOWN ON DRAWINGS.
3. EXISTING AND NEW MATERIALS COMMON TO SEVERAL DETAILS MAY BE NOTED ON ONLY ONE.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING SAFE WORKING CONDITIONS ON AREAS FOR EMPLOYEES AND OTHER PERSONS AT THE SITE.
5. CONTRACTOR TO PROVIDE EMERGENCY VEHICLE ACCESS AT ALL TIMES.
6. PROVIDE TYPE III BARRICADES TO COMPLETELY BLOCK EACH PAVEMENT DRIVE AND CONCRETE SIDEWALK AT THE CONSTRUCTION LIMITS. BARRICADES SHALL BE FREE STANDING AND NOT DAMAGE EXISTING PAVEMENT AND CONCRETE. PROVIDE 4'-0" HIGH ORANGE CONSTRUCTION FENCE WHERE SHOWN ON REMOVAL PLAN.
7. CONTRACTOR TO PERFORM CONSTRUCTION STAKING. AUTOCADD AND PDF DRAWING FILES WILL BE PROVIDED. CONTRACTOR SHALL SET NEW CONTROL POINTS AND BENCHMARKS FOR CONSTRUCTION.
8. AFTER THE EXISTING ASPHALT SURFACES HAVE BEEN REMOVED IN REPAVING AREAS AND AT SUBGRADE FOR RECONSTRUCTION AREAS, THE CONTRACTOR SHALL SCHEDULE A PROOFROLL OF THE PREPARED BASE AREAS/SUBGRADE WITH THE ENGINEER. A SIX-WHEEL DUMP TRUCK WITH A LEGAL LOAD SHALL BE PROVIDED. ALL FAILED AREAS SHALL BE CORRECTED BEFORE PAVING. CONTRACTOR TO SCHEDULE A PRE-PAVING INSPECTION WITH THE ENGINEER TWENTY-FOUR (24) HOURS IN ADVANCE.
9. SEE ALLOWANCES SECTION 01 21 00 FOR CONTINGENCY ALLOWANCE.
10. ALL NEW CONCRETE SHALL BE DOWELED INTO ABUTTING EXISTING CONCRETE.
11. SEE SPECIFICATION SECTION 01 10 00 ARTICLE 1.08, FOR REQUIRED WARRANTY.
12. FOR DISPOSAL OF EXCAVATED SOIL, OWNER HAS PROVIDED THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY FORM LPC-663 (UNCONTAMINATED SOIL CERTIFICATION BY LICENSED PROFESSIONAL ENGINEER OR LICENSED PROFESSIONAL GEOLOGIST FOR USE OF UNCONTAMINATED SOIL AS FILL IN A CCDD OR UNCONTAMINATED SOIL FILL OPERATION LPC-663) AND SUPPORTING DOCUMENTATION. CONTRACTOR SHALL INCLUDE IN THEIR BID A FILL SITE THAT WILL ACCEPT THE PROVIDED LPC-663 FORM AND SUPPORTING DOCUMENTATION. EXTRA COMPENSATION AND/OR EXTRA TIME WILL NOT BE GIVEN IF THE CONTRACTOR'S FILL SITE WILL NOT ACCEPT THE PROVIDED LPC-663 FORM AND SUPPORTING DOCUMENTATION.

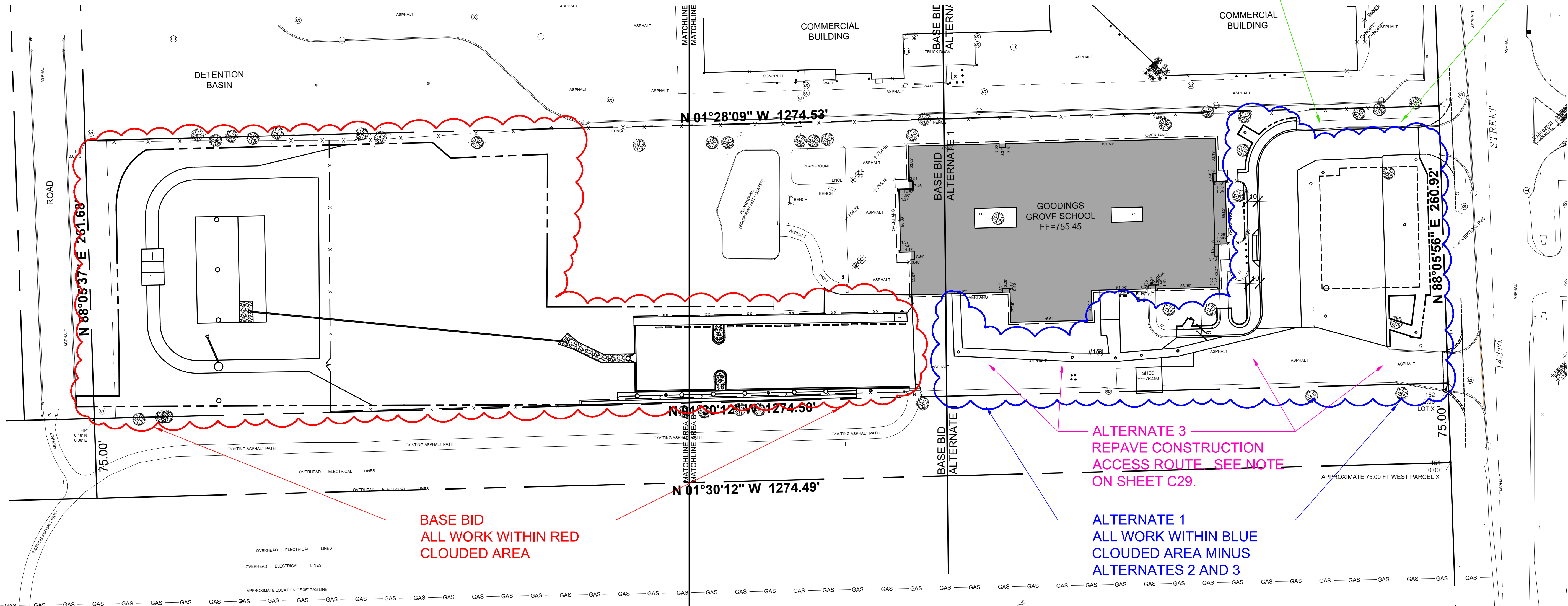
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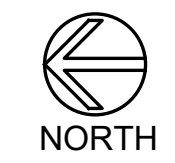
MINNEAPOLIS | MILWAUKEE | CHICAGO

Consultants:

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KEY PLAN
NO SCALE



CAUTION: LOCATIONS OF UTILITIES ARE APPROXIMATE ONLY. CONTACT J.U.L.I.E. AT 1-800-892-0123 AND MARK PRIVATE UTILITIES PRIOR TO DIGGING. KNOWN PUBLIC AND PRIVATE UTILITIES ARE SHOWN ON THE DRAWINGS. CONTRACTOR TO HIRE PRIVATE UTILITY LOCATING FIRM TO MARK LOCATIONS OF PRIVATE UTILITIES (INCLUDING BUT NOT LIMITED TO PRIVATE ELECTRIC, COMMUNICATIONS, STORM SEWER, WATER, SANITARY SEWER, ETC.). ALL DAMAGED UTILITY LINES WILL BE REPAIRED AND PAID FOR BY THE CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR COORDINATION AND CONFLICT RESOLUTION WITH UTILITY OWNER.

SURVEY NOTES:
EXISTING CONDITIONS BASE SURVEY AND SPOT ELEVATIONS PROVIDED BY JOSEPH A. SCHUDT & ASSOCIATES, 9455 ENTERPRISE DRIVE, MOKENA, ILLINOIS 60448. PHONE 708-720-1000.

Signature: _____

Issues and revisions:

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HOMER COMMUNITY CONSOLIDATED SCHOOL DISTRICT 33C

GOODINGS GROVE SCHOOL

Project title:
PARKING LOT EXPANSION AND IMPROVEMENTS

12914 W 143RD STREET
HOMER GLEN, ILLINOIS 60491

Sheet content:
GENERAL PROJECT NOTES,
KEY PLAN, AND LEGEND

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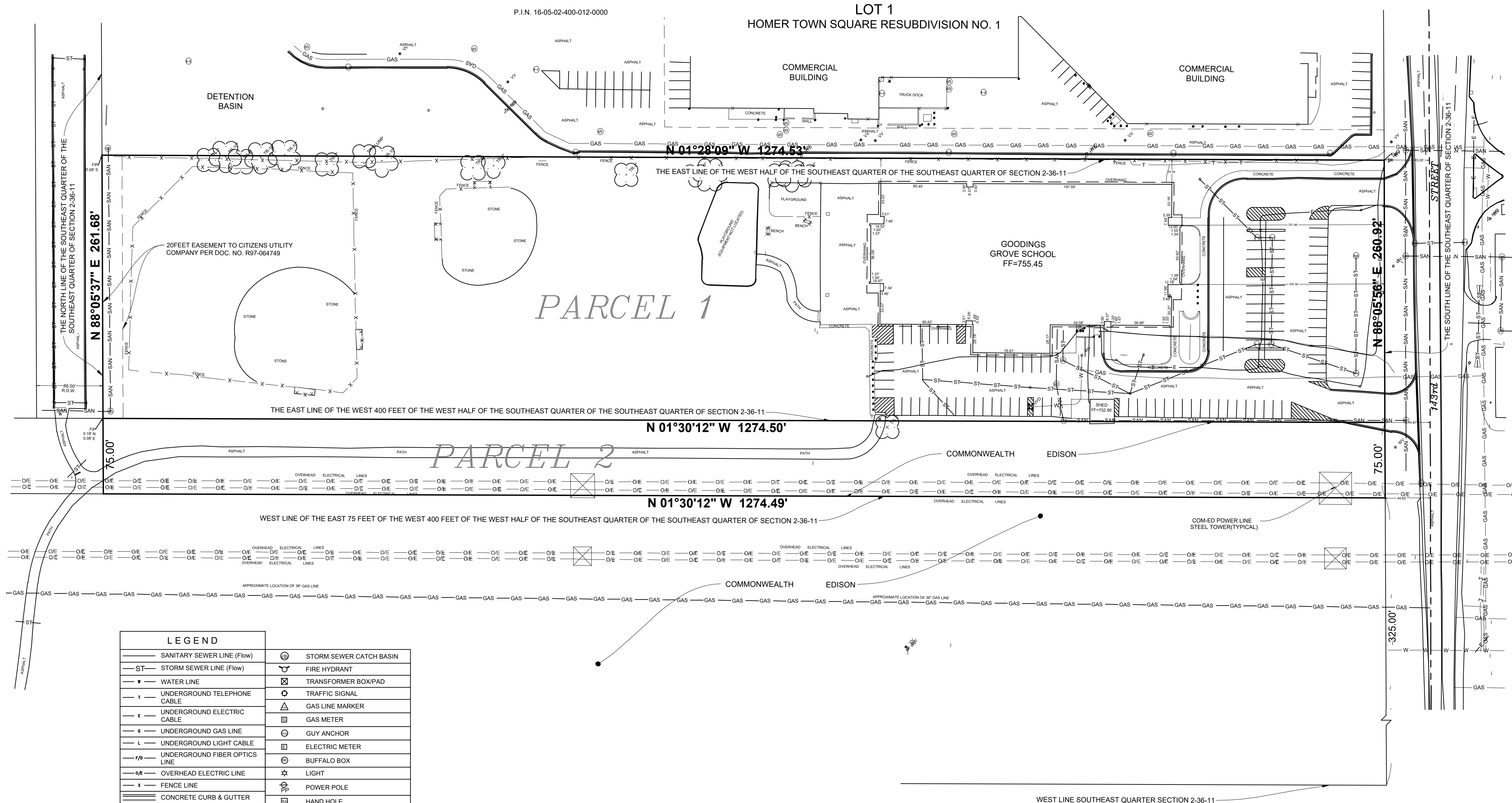
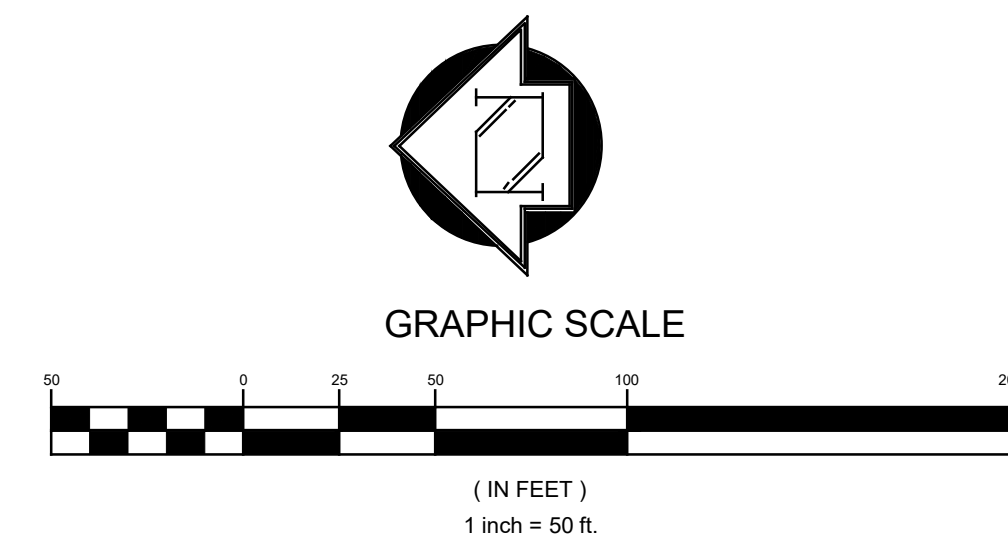
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BOUNDARY AND TOPOGRAPHIC SURVEY

PARCEL 1: 333,022 Sq. Ft. (7.65 ACRES ±)
 PARCEL 2: 95,587 Sq. Ft. (2.19 ACRES ±)

PARCEL 1:
 THE WEST HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER (EXCEPT THE WEST 400 FEET THEREOF) OF SECTION 2, TOWNSHIP 36 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS.
 P.I.N. 16-05-02-400-011-0000

PARCEL 2:
 THE EAST 75 FEET OF THE WEST 400 FEET OF THE WEST HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 2, TOWNSHIP 36 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS.
 P.I.N. 16-05-02-400-012-0000



LEGEND	
— SANITARY SEWER LINE (Flow)	⊙ STORM SEWER CATCH BASIN
— ST — STORM SEWER LINE (Flow)	⊙ FIRE HYDRANT
— W — WATER LINE	⊠ TRANSFORMER BOX/PAD
— T — UNDERGROUND TELEPHONE CABLE	⊙ TRAFFIC SIGNAL
— E — UNDERGROUND ELECTRIC CABLE	⊠ GAS LINE MARKER
— G — UNDERGROUND GAS LINE	⊠ GAS METER
— L — UNDERGROUND LIGHT CABLE	⊙ GUY ANCHOR
— F/O — UNDERGROUND FIBER OPTICS LINE	⊠ ELECTRIC METER
— O/E — OVERHEAD ELECTRIC LINE	⊙ BUFFALO BOX
— X — FENCE LINE	☆ LIGHT
— C — CONCRETE CURB & GUTTER	⊙ POWER POLE
— D — DEPRESSED CURB	⊠ HAND HOLE
⊙ SANITARY SEWER MANHOLE	⊠ SOIL BORING
⊙ EXISTING COMBINED SANITARY/STORM MANHOLE	⊠ TELEPHONE BOX / PAD
⊙ ELECTRIC MANHOLE	⊠ GAS VALVE
⊙ TELEPHONE MANHOLE	— SIGN
⊙ STORM SEWER MANHOLE	♿ HANDICAP PARKING SPACE
⊙ WATER MANHOLE	⊙ DECIDUOUS TREE
⊙ TRAFFIC MANHOLE	⊙ EVERGREEN
⊙ WATER VALVE IN VAULT	⊙ BUSH/HEDGE
⊙ WATER VALVE	⊙ PINE TREES
⊙ STORM SEWER INLET	⊙ EXISTING GROUND ELEVATION
	— 690 — EXISTING CONTOUR GRADE
	[253.00'] RECORDED DISTANCE

NOTES:
 1. BASIS OF BEARINGS ARE ASSUMED AND USED TO DENOTE ANGLES ONLY.
 2. PLAT REPRESENTS EXISTING CONDITIONS BASED ON FIELD WORK PERFORMED ON APRIL 6, 2022.

STATE OF ILLINOIS }
 COUNTY OF WILL } SS.
 JOSEPH A. SCHUDT AND ASSOCIATES HEREBY CERTIFY THAT THEY HAVE SURVEYED THE PROPERTY DESCRIBED HEREON, AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY. ALL DIMENSIONS IN FEET AND DECIMAL PARTS THEREOF.

MOKENA, ILLINOIS _____ A.D. 2022.
 JOSEPH A. SCHUDT & ASSOCIATES (184-001172)

DRAFT



THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.
 VERIFY ALL POINTS BEFORE BUILDING AND REPORT ANY DISCREPANCIES. CONSULT DEED OR TITLE REPORT FOR EASEMENTS AND RESTRICTIONS.

Joseph A. Schudt & Associates
 9455 ENTERPRISE DRIVE MOKENA, IL 60448
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 (184-001172)
CIVIL ENGINEERING LAND SURVEYING ENVIRONMENTAL LAND PLANNING GPS SERVICES

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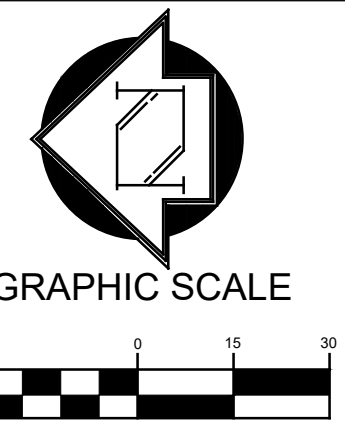
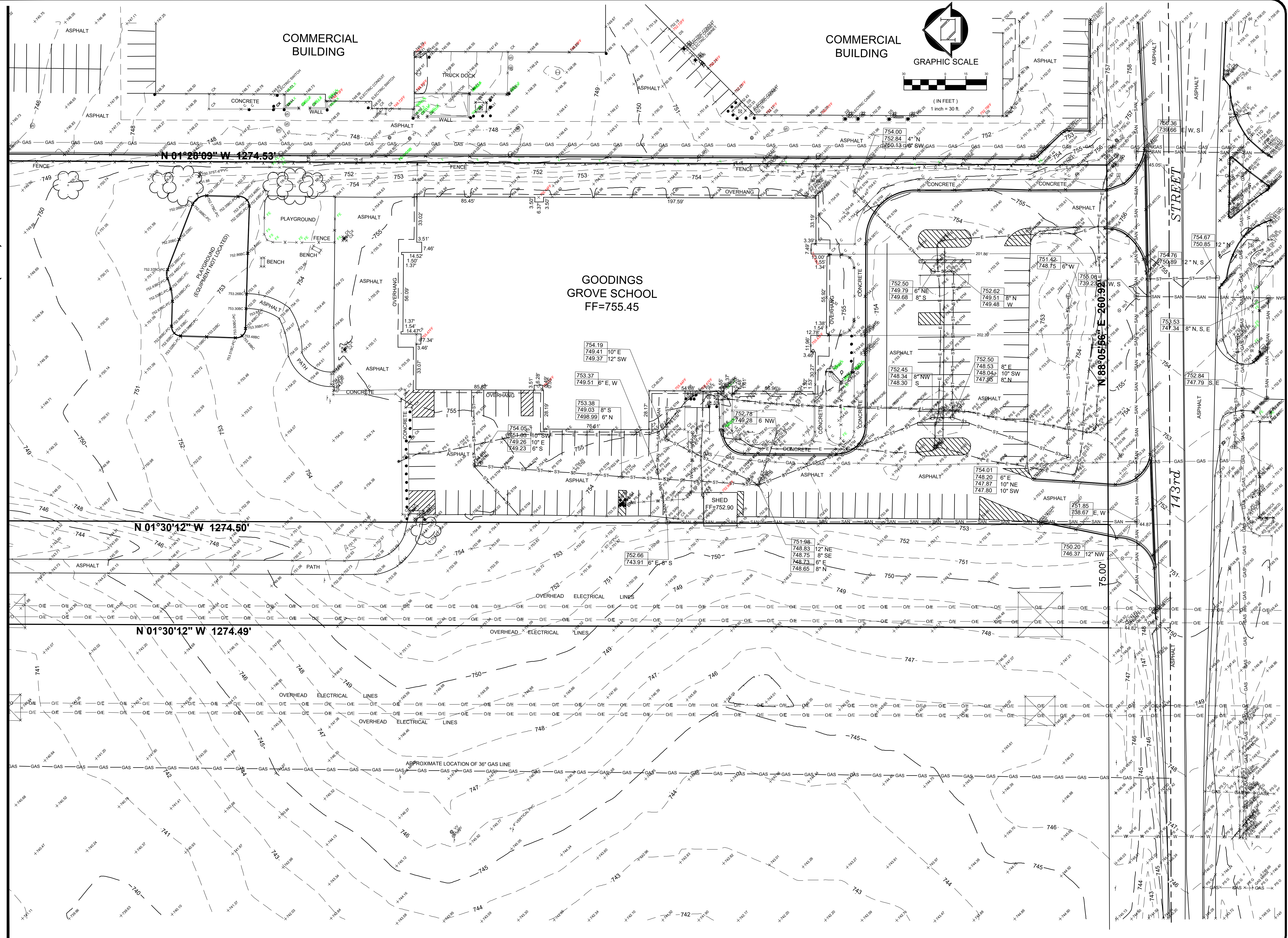
GOODINGS GROVE SCHOOL
 12914 W. 143rd STREET
 HOMER GLEN, IL

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 Sheet:
 1 OF 3
 Project No.:
 22-003-001

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(A-A)
MATCH LINE



Joseph A. Schudt & Associates
 9455 ENTERPRISE DRIVE MOKENA, IL 60448
 PHONE: 708-720-1000 www.jaseng.com FAX: 708-720-1065
 (184-001172)
JA
 CIVIL ENGINEERING LAND SURVEYING ENVIRONMENTAL LAND PLANNING GPS SERVICES

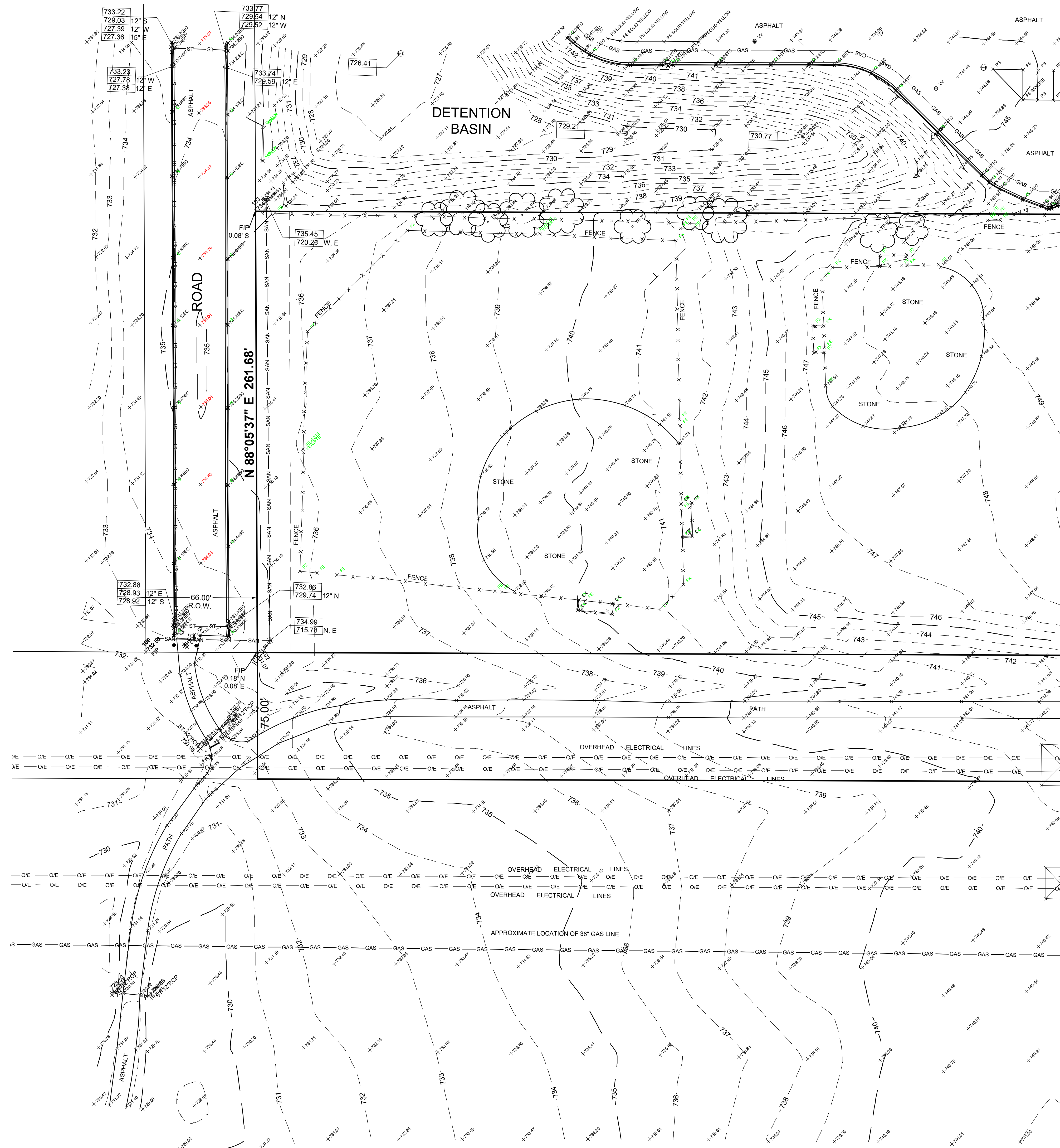
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GOODINGS GROVE SCHOOL
 12914 W. 143rd STREET
 HOMER GLEN, IL

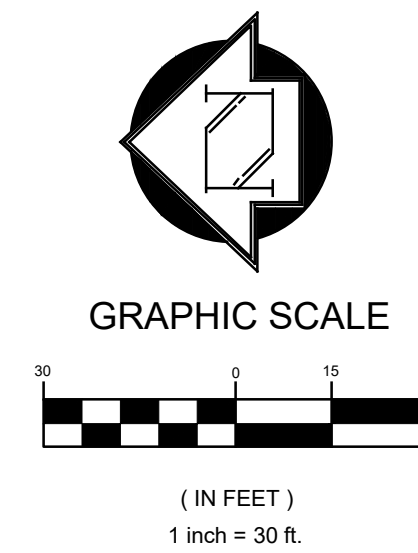
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 Sheet:
2 OF 3
 Project No.:
22-003-001

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(A-A)

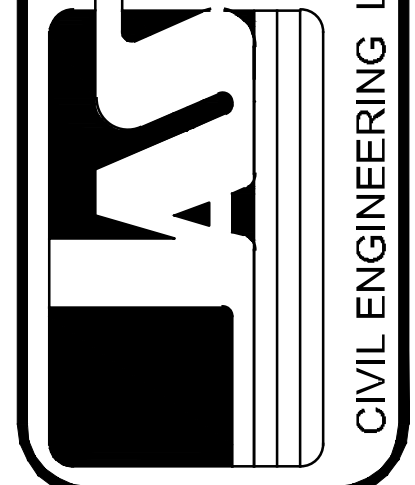
MATCH LINE



EXISTING TOPOGRAPHY
12914 W. 143rd STREET
HOMER GLEN, IL

Date: 4-12-22
Scale: 1"=30'
File Name: 22-003-001-TOPO-4-12-22
Drawn: TMF
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Sheet:
3 OF 3
Project No.:
22-003-001

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(184-001172)

SITE AND STRUCTURE BULK STANDARDS:

ADDRESS	School Parking lot expansion 12914 W. 143
EXISTING ZONING	A-1
CONCEPT ZONING REVIEW	P-1

	REQUIRED CODE	PROPOSED
EASEMENT	OUT	
FLOODZONE/PLAIN	OUT	
MIN LOT SIZE (P-1)	15,000	333,022
CLEAR VISION TRIANGLE?	25' FROM EDGE OF PAVEMENT	
TREE PRESERVATION REVIEW	OVER 5 ACRES OR PLAT/DIVISION?	

	ORD	PROPOSED	NOTES
MIN LOT SIZE	15,000	333,022	
MIN LOT WIDTH	100'	261	
MIN FRONT YARD	45' DEDICATED	204	
MIN CORNER SIDE YARD	45' DEDICATED	N/A	
MIN SIDE YARD	20' ADJACENT TO NONRES	25' east; 68' west	Homer Town square to east; ComEd ROW to west
MIN REAR YARD	40' ADJACENT TO RES	N/A	Measured to proposed building addition
MAX HEIGHT	35'	21'-6"	existing school building at multi-purpose room. Remainder of school is 13'-6"
MAX LOT COVER	50%	39%	not including future addition; see below
MAX FAR	0.2	0.16	included future addition
MIN LANDSCAPE FRONT/CORNER SIDE	30	56.00	does not change with widening of 143rd Street
MIN TRANSITION YARD	25	N/A	adjacent to other nonres or utility

	*LOT COVERAGE	IMPERVIOUS	DET. STRUCTURES
PRINIPAL BUILDING EXISTING	43,600	43,600	N/A
FRONT PARKING AREA	53,857	53,857	N/A
FRONT WALKWAYS	N/A	5,454	N/A
SHED	587	587	587
REAR ASPHALT	9,375	9,375	
PROPOSED REAR PARKING	16,178	16,178	N/A
PROPOSED REAR WALK	N/A	2,057	N/A
FUTURE BUILDING ADDITION (north side of building)	5,582	5,582	not included in calc
FUTURE ADDITIONAL PARKING STALLS (16 stalls - north side of building)	4,630	4,630	not included in calc
FUTURE ASPHALT PLAYGROUND EXPANSION (north side of building)	10,799	10,799	not included in calc

TOTAL SQUARE FOOTAGE PROPOSED	123,597	131,108	587
MAX ALLOWABLE SQUARE FOOTAGE	166,511	166,511	650
SQ FEET LEFT TO COVER	42,914	35,403	63
MAX ALLOWABLE PERCENT	50.00%	50.00%	50% permitted for P-1
PERCENTAGE PROPOSED	37.11%	39.37%	only 20% permitted d for A-1

SITE AND STRUCTURE BULK STANDARDS (CONTINUED):

*Lot Coverage, as defined in Village Code, does not include sidewalks, patios, decks, swimming pools, open porches (staff interp includes roofed porches and gazebos), outdoor tennis or basketball courts, or other similar accessory uses.

** Future building addition, future additional 16 stall parking expansion, and future asphalt playground bring the impervious total up to 152,119 square feet and therefore 45.68% impervious. These future items may or may not be constructed. These square footages are included in the storm water management plan calculations such that the biofiltration pond is sized appropriately to accommodate the future impervious roofs and pavement.

*** See drawing C10 for footprint of future building addition, future asphalt parking stalls, and future asphalt playground.

PARKING STANDARDS:

ADDRESS	School Parking Lot Expansion
EXISTING ZONING	12914 W. 143 Street
CONCEPT ZONING REVIEW	A-1

PARKING STANDARDS REVIEW	REQUIRED PARKING STALLS	NOTES
CLASSROOMS - EXISTING BUILDING SHOWN ON C3	24	24
CLASSROOMS - FUTURE BUILDING ADDITION SHOWN ON C10	5	5
CURRENT EMPLOYEES AT SCHOOL BUILDING	80	80
CURRENT STUDENTS AGED 16 YEARS OR OLDER	0	0
FUTURE ADDITIONAL EMPLOYEES (APPROXIMATE)	15	15
TOTAL REQUIRED PARKING	124	

	PROPOSED PARKING STALLS	NOTES
REGULAR PARKING STALLS SHOWN ON C3	146	
ADA PARKING STALLS SHOWN ON C3	7	MINIMUM OF 6 ADA STALLS REQUIRED
TOTAL PARKING STALLS	153	
REGULAR PARKING STALLS IN FUTURE PARKING ADDITION SHOWN ON C10	16	BRINGS TOTAL TO 169

* See drawing C10 for footprint of future building addition, future asphalt parking stalls, and future asphalt playground.

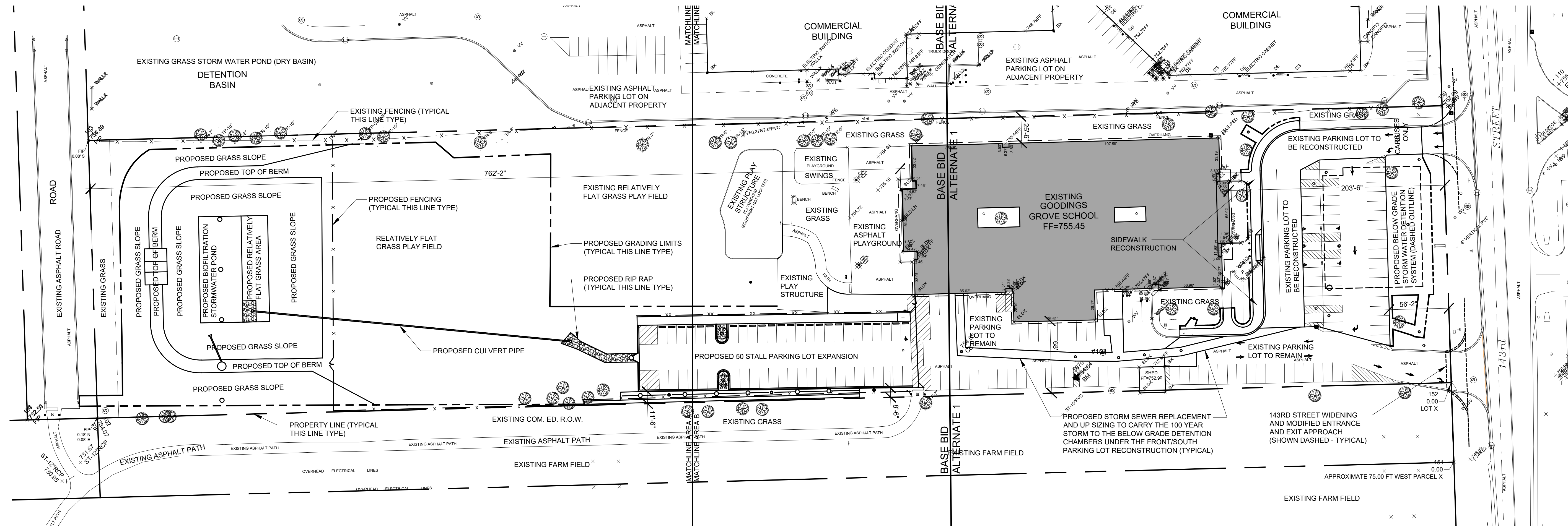
** Additional parking stalls beyond the zoning code required stalls are needed for child drop-off and pickup.

*** Parking stalls in north parking lot expansion area are 9' wide x 19'-0" long with 24'-0" wide drive aisle (62' wide face of curb and gutter to face of sidewalk with integral curb)

**** Parking stalls in front (south) parking lot are 9'-0" wide. They can be striped 19'-0" long with 24'-0" wide drive aisles.

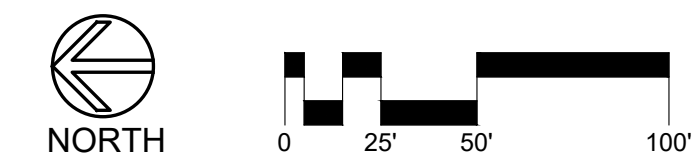
***** Parking stalls in existing west parking lot are 9'-0" wide. Stall length can be striped for 19'-0" long. With 19'-0" long stalls the drive aisle width varies 24'-6" to 53'-6".

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SURVEY NOTES:
 EXISTING CONDITIONS BASE SURVEY AND SPOT ELEVATIONS PROVIDED BY JOSEPH A. SCHUDT & ASSOCIATES, 9455 ENTERPRISE DRIVE, MOKENA, ILLINOIS 60448. PHONE 708-720-1000.

FOR PLAN REVIEW PURPOSES ONLY - SITE PLAN WITH SITE AND STRUCTURE BULK STANDARDS AND PARKING STANDARDS
 1" = 50'-0"



INSPEC
 8618 West Catalpa Ave.
 Suite 1109
 Chicago, IL 60656
 Ph. 773-444-0206
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 Consultants:

Signature: _____

Issues and revisions:

ISSUE LEVEL / REVISION:	DATE:	No.:
98% COMPLETE	04/18/2025	
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VILLAGE OF HOMER GLEN PLAN		
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SWMP UPDATE WITH PLAN		
COMMISSION REQUESTED		
BULK REGS AND TREE PRES.	03/12/2026	
BID SET	03/19/2026	

Client:
HOMER COMMUNITY CONSOLIDATED SCHOOL DISTRICT 33C

GOODINGS GROVE SCHOOL

Project title:
PARKING LOT EXPANSION AND IMPROVEMENTS

12914 W 143RD STREET
 HOMER GLEN, ILLINOIS 60491

Sheet content:
 FOR PLAN REVIEW PURPOSES ONLY
 SITE PLAN WITH SITE AND STRUCTURE BULK STANDARDS AND PARKING

DATE: 03/19/2026
 CLIENT PROJECT No.: -
 INSPEC PROJECT No.: 301918
 PROJECT MGR: DR
 DRAWN BY: TR
 CHECKED BY: DR

Sheet No.: **C6**

TREE PRESERVATION AND INFORMATION MATRIX:

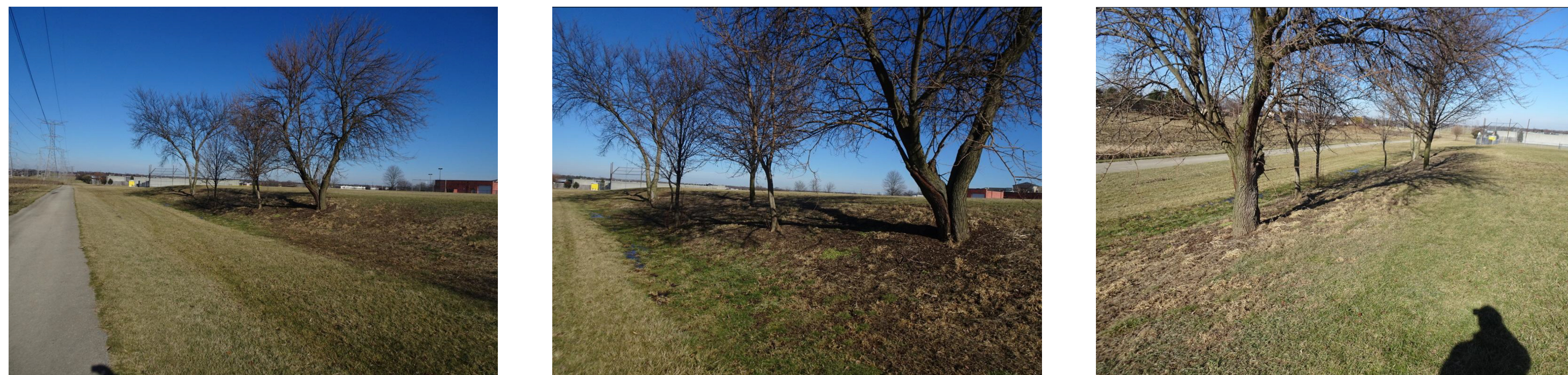
Existing Tree I.D Number	General Species	Homer Glen Tree Condition Rating (1 = excellent to 5 = dead)	Inch Diameter for Existing Conditions	Inch Diameter for Proposed Conditions	Notes
1	deciduous	4	0	0	Not on property
2	deciduous	2	10	10	
3	deciduous	2	0	0	Not on property
4	deciduous	2	10	10	
5	deciduous	2	0	0	Not on property
6	tree # not used				Tree number not used
7	deciduous	N/A	0	0	Brush Clump
8	deciduous	2	10	10	
9	deciduous	2	8	8	
10	tree # not used				Tree number not used
11	deciduous	3	7	7	
12	deciduous	4	6	6	
13	deciduous	2	11	11	
14	deciduous	2	7	7	
15	deciduous	1	10	10	
16	deciduous	4	6	6	
17	deciduous	3	7	7	
18	deciduous	N/A	0	0	Not on property
19	deciduous	3	8	8	
20	deciduous	N/A	0	0	Not on property
21	deciduous	3	8	8	
22	deciduous	2	9	9	
23	deciduous	2	9	9	
24	deciduous	2	7	7	
25	coniferous	2	15	15	
26	deciduous	2	17	17	
27	deciduous	2	12	12	
28	deciduous	N/A	0	0	Not on property
29	deciduous	3	0	0	Not on property
30	deciduous	1	5	5	
31	deciduous	2	18	18	
32	deciduous	2	0	0	Not on property
33	deciduous	2	0	0	Not on property
34	deciduous	2	0	0	Not on property
35	deciduous	2	0	0	Not on property
36	deciduous	2	0	0	Not on property
37	deciduous	3	26	0	Tree to be Removed
38	deciduous	2	6	0	Tree to be Removed
39	deciduous	3	5	0	Tree to be Removed
40	deciduous	2	10	0	Tree to be Removed

TREE PRESERVATION AND INFORMATION MATRIX (CONTINUED):

41	deciduous	2	4	0	Tree to be Removed
42	deciduous	2	23	0	Tree to be Removed
43	deciduous	2	0	0	Not on property
44	deciduous	1	0	0	Not on property
45	deciduous	N/A	0	0	Courtyard - unknown
46	deciduous	2	0	0	Not on property
Proposed - New Tree					
A	Honey Locust	1	0	3	New landscape curb island tree
B	Maple	1	0	3	New landscape curb island tree
		Total inch diameter	274	206	
		Removal percentage	24.8%		

Notes:
 1. Tree information provided by Inspec, Inc. engineers.
 2. Condition Rating determined by site visit on January 12, 2026, in conjunction with site photos taken during the previous growing seasons and aerial photos.

PHOTOS OF EXISTING TREE # 37 THROUGH # 42 TO BE REMOVED:



Consultants:

Signature:

Issues and revisions:

ISSUE LEVEL / REVISION:	DATE:	No.:
98% COMPLETE	04/18/2025	
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COMMISSION REQUESTED		
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BID SET	03/19/2026	

HOMER COMMUNITY CONSOLIDATED SCHOOL DISTRICT 33C

GOODINGS GROVE SCHOOL

PARKING LOT EXPANSION AND IMPROVEMENTS

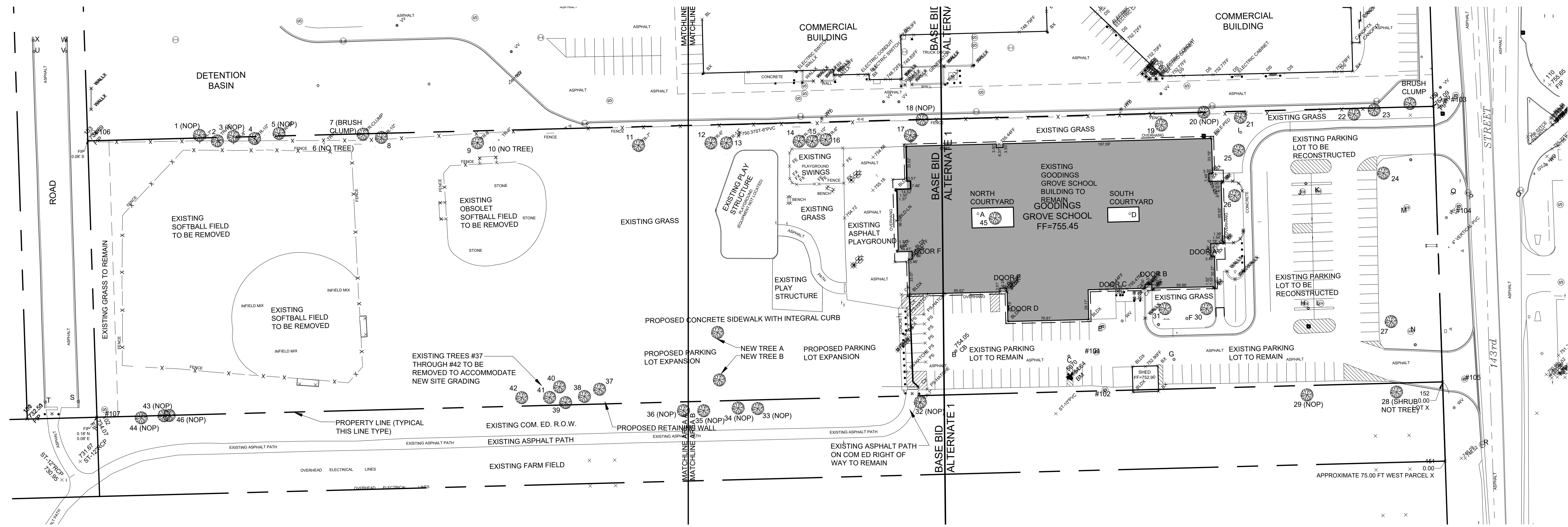
12914 W 143RD STREET
 HOMER GLEN, ILLINOIS 60491

**FOR PLAN REVIEW PURPOSES ONLY
 TREE PRESERVATION AND INFORMATION EXISTING CONDITIONS
 SITE PLAN**

DATE: 03/19/2026
 CLIENT PROJECT No.: -
 INSPEC PROJECT No.: 301918
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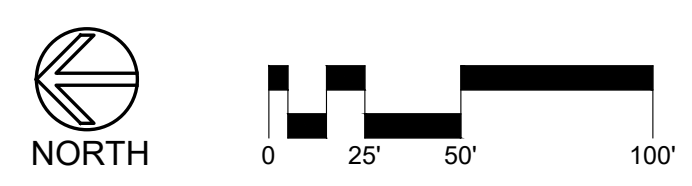
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SURVEY NOTES:
 EXISTING CONDITIONS BASE SURVEY AND SPOT ELEVATIONS PROVIDED BY JOSEPH A. SCHUDT & ASSOCIATES, 9455 ENTERPRISE DRIVE, MOKENA, ILLINOIS 60448. PHONE 708-720-1000.

**FOR PLAN REVIEW PURPOSES ONLY -
 TREE PRESERVATION AND INFORMATION EXISTING CONDITIONS SITE PLAN**
 1" = 50'-0"



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Client:

**HOMER COMMUNITY
 CONSOLIDATED SCHOOL
 DISTRICT 33C**

**GOODINGS GROVE
 SCHOOL**

Project title:

**PARKING LOT EXPANSION
 AND IMPROVEMENTS**

12914 W 143RD STREET
 HOMER GLEN, ILLINOIS 60491

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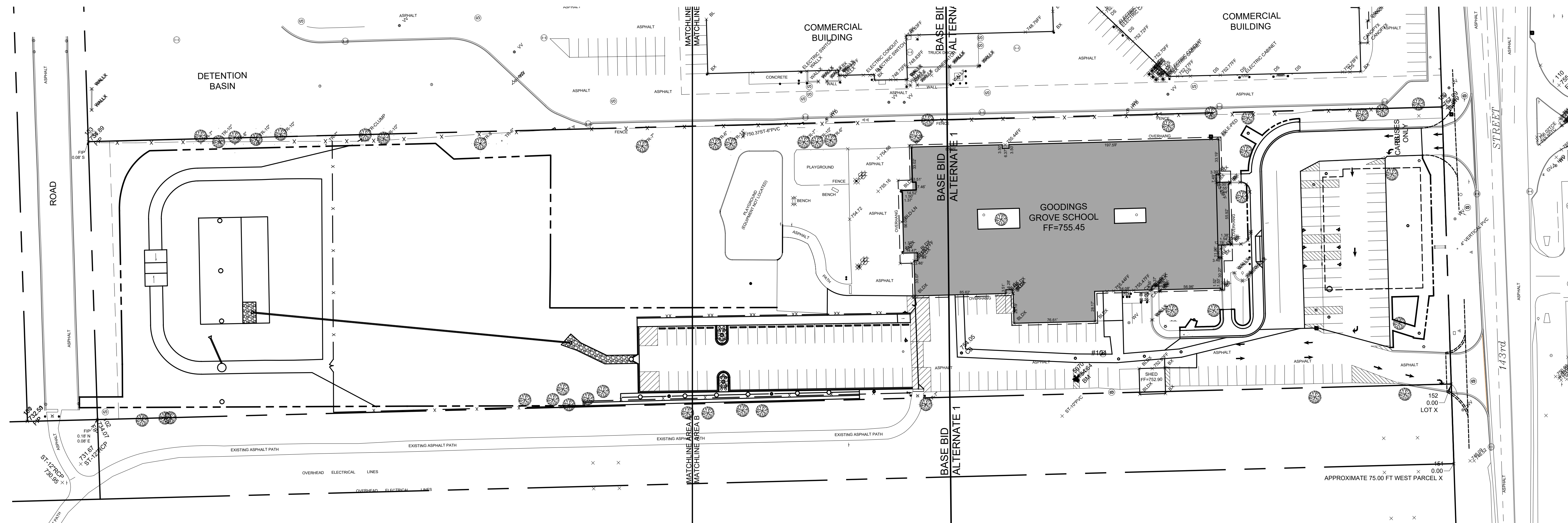
FOR PLAN REVIEW PURPOSES ONLY
 SITE PLAN WITH LIGHT POLE LOCATIONS
 AND PHOTOMETRIC PLAN

DATE: 03/19/2026
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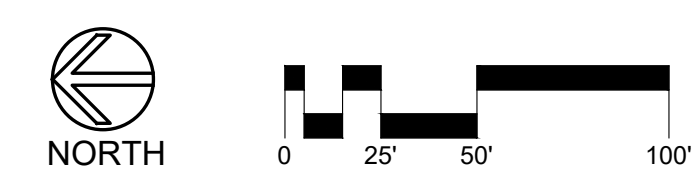
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SURVEY NOTES:
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**FOR PLAN REVIEW PURPOSES ONLY -
 SITE PLAN WITH LIGHT POLE LOCATIONS AND PHOTOMETRIC PLAN**
 1" = 50'-0"



Consultants:

Signature:

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Client:

HOMER COMMUNITY CONSOLIDATED SCHOOL DISTRICT 33C

GOODINGS GROVE SCHOOL

Project title:

PARKING LOT EXPANSION AND IMPROVEMENTS

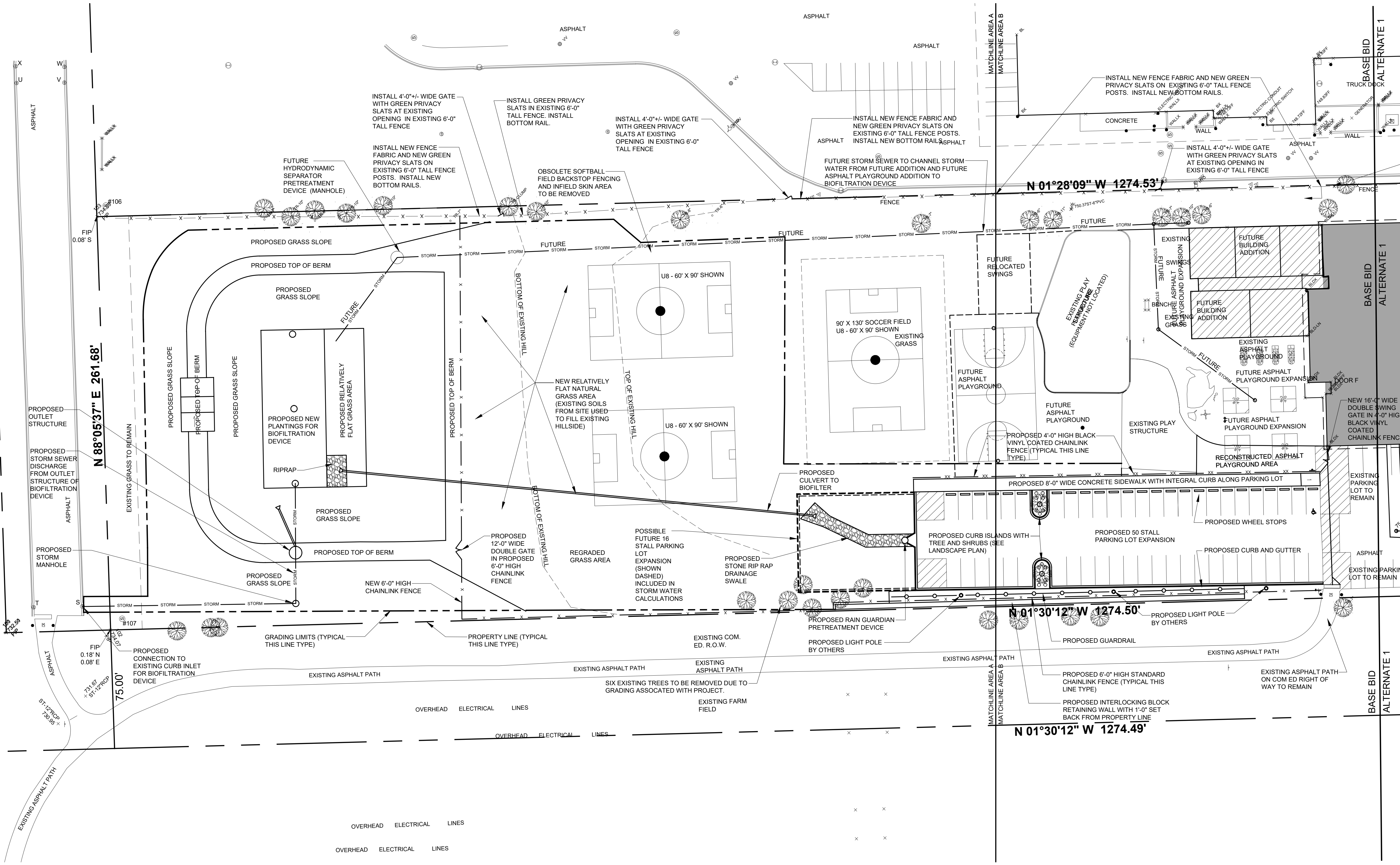
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Sheet content:

FOR PLAN REVIEW PURPOSES ONLY -
 NEW CONDITIONS - OVERALL SITE PLAN
 FOR NORTH PARKING LOT EXPANSION

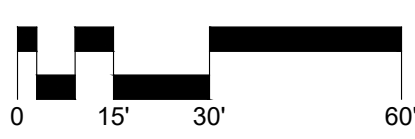
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FOR PLAN REVIEW PURPOSES ONLY - NEW CONDITIONS - OVERALL SITE PLAN OF 2026 PARKING LOT EXPANSION AND FUTURE POST CONSTRUCTION

1" = 30'-0"



AREA CALCULATIONS FOR PLAN COMMISSION REVIEW PURPOSES:

PROPERTY SIZE	333,022 SQUARE FEET	7.65 ACRES
NEW CONDITIONS AREA CALCULATIONS WITH FUTURE BUILDING EXPANSION, FUTURE PLAYGROUND, AND FUTURE 16 STALL PARKING LOT EXPANSION		
ROOF (INCLUDED ANTICIPATED FUTURE ADDITION)	51,955 SQUARE FEET	1.19 ACRES
ASPHALT PAVEMENT AND CONCRETE PAVEMENT	99,336 SQUARE FEET	2.31 ACRES
GRASS/LANDSCAPING/WOOD CHIP PLAYGROUNDS	181,731 SQUARE FEET	4.15 ACRES

FOR PLAN REVIEW PURPOSES ONLY: PARKING STALL COUNT:

WHOLE SITE INCLUDING PARKING LOT EXPANSION ON NORTH SIDE OF BUILDING AND POSSIBLE FUTURE EXPANSION ON NORTH SIDE (TOTAL FOR AREA A AND AREA B COMBINED)

REGULAR STALLS	163
ADA STALLS	7
TOTAL STALLS	170

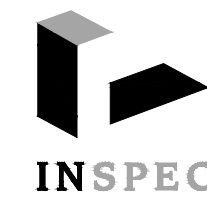
STORM WATER MANAGEMENT PLAN NOTES:

- 1.) FUTURE DEVELOPMENT WORK IS NOT PART OF THE CURRENT PERMIT FOR THIS PROJECT.
- 2.) THE FUTURE POST CONSTRUCTION WORK WILL REQUIRE A SEPARATE PLAN REVIEW, APPROVAL, AND PERMIT AT THE TIME OF THE FUTURE IMPROVEMENTS. THE FUTURE AREA CALCULATIONS ARE PROVIDED TO SUPPORT THE SIZING OF THE CURRENT BIOFILTRATION POND TO ACCOMMODATE THE FUTURE WORK ASSUMING CODES AND REGULATIONS DO NOT CHANGE.

CAUTION: LOCATIONS OF UTILITIES ARE APPROXIMATE ONLY. CONTACT J.U.L.I.E. AT 1-800-892-0123 AND MARK PRIVATE UTILITIES PRIOR TO DIGGING. KNOWN PUBLIC AND PRIVATE UTILITIES ARE SHOWN ON THE DRAWINGS. CONTRACTOR TO HIRE PRIVATE UTILITY LOCATING FIRM TO MARK LOCATIONS OF PRIVATE UTILITIES (INCLUDING BUT NOT LIMITED TO PRIVATE ELECTRIC, COMMUNICATIONS, STORM SEWER, WATER, SANITARY SEWER, ETC.). ALL DAMAGED UTILITY LINES WILL BE REPAIRED AND PAID FOR BY THE CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR COORDINATION AND CONFLICT RESOLUTION WITH UTILITY OWNER.

SURVEY NOTES:
 EXISTING CONDITIONS BASE SURVEY AND SPOT ELEVATIONS PROVIDED BY JOSEPH A. SCHUDT & ASSOCIATES, 9455 ENTERPRISE DRIVE, MOKENA, ILLINOIS 60448. PHONE 708-720-1000.

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Client:

HOMER COMMUNITY
CONSOLIDATED SCHOOL
DISTRICT 33C

GOODINGS GROVE
SCHOOL

Project title:

PARKING LOT EXPANSION
AND IMPROVEMENTS

12914 W 143RD STREET
HOMER GLEN, ILLINOIS 60491

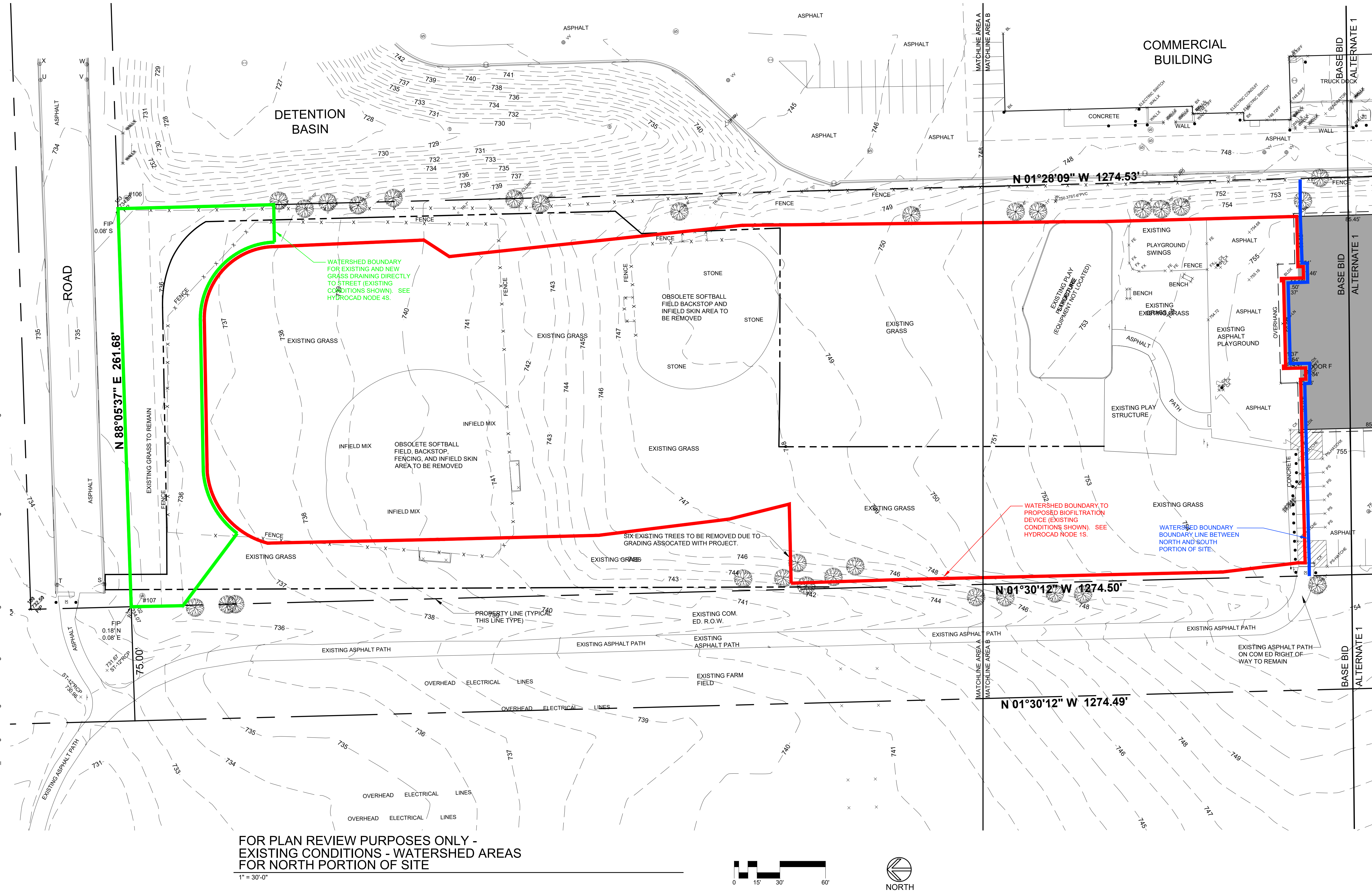
Sheet content:

FOR PLAN REVIEW PURPOSES ONLY -
EXISTING CONDITIONS - WATERSHED
AREA TO NEW BIOFILTRATION FOR
NORTH PARKING LOT EXPANSION

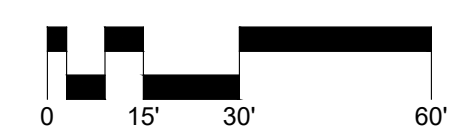
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INSPEC PROJECT No.: 301918
PROJECT MGR: DR
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Sheet No.:

C11



FOR PLAN REVIEW PURPOSES ONLY -
EXISTING CONDITIONS - WATERSHED AREAS
FOR NORTH PORTION OF SITE
1" = 30'-0"



- NOTES:
- 1.) ALL DIMENSIONS ARE BACK OF CURB OR EDGE OF PAVEMENT.
 - 2.) NEW SPOT ELEVATIONS ARE TOP OF NEW PAVEMENT OR TOP OF NEW SIDEWALK.
 - 3.) ADJUST ELEVATIONS OF ALL WATER VALVE ACCESS COVERS, MANHOLES, AND INLETS TO BE FLUSH WITH NEW PAVEMENT ELEVATIONS.
 - 4.) IRRIGATION SYSTEM IS OBSOLETE. DO NOT REPAIR DAMAGED IRRIGATION SYSTEM COMPONENTS.

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Consultants:

Signature:

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Client:

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CONSOLIDATED SCHOOL
DISTRICT 33C**

**GOODINGS GROVE
SCHOOL**

Project title:

**PARKING LOT EXPANSION
AND IMPROVEMENTS**

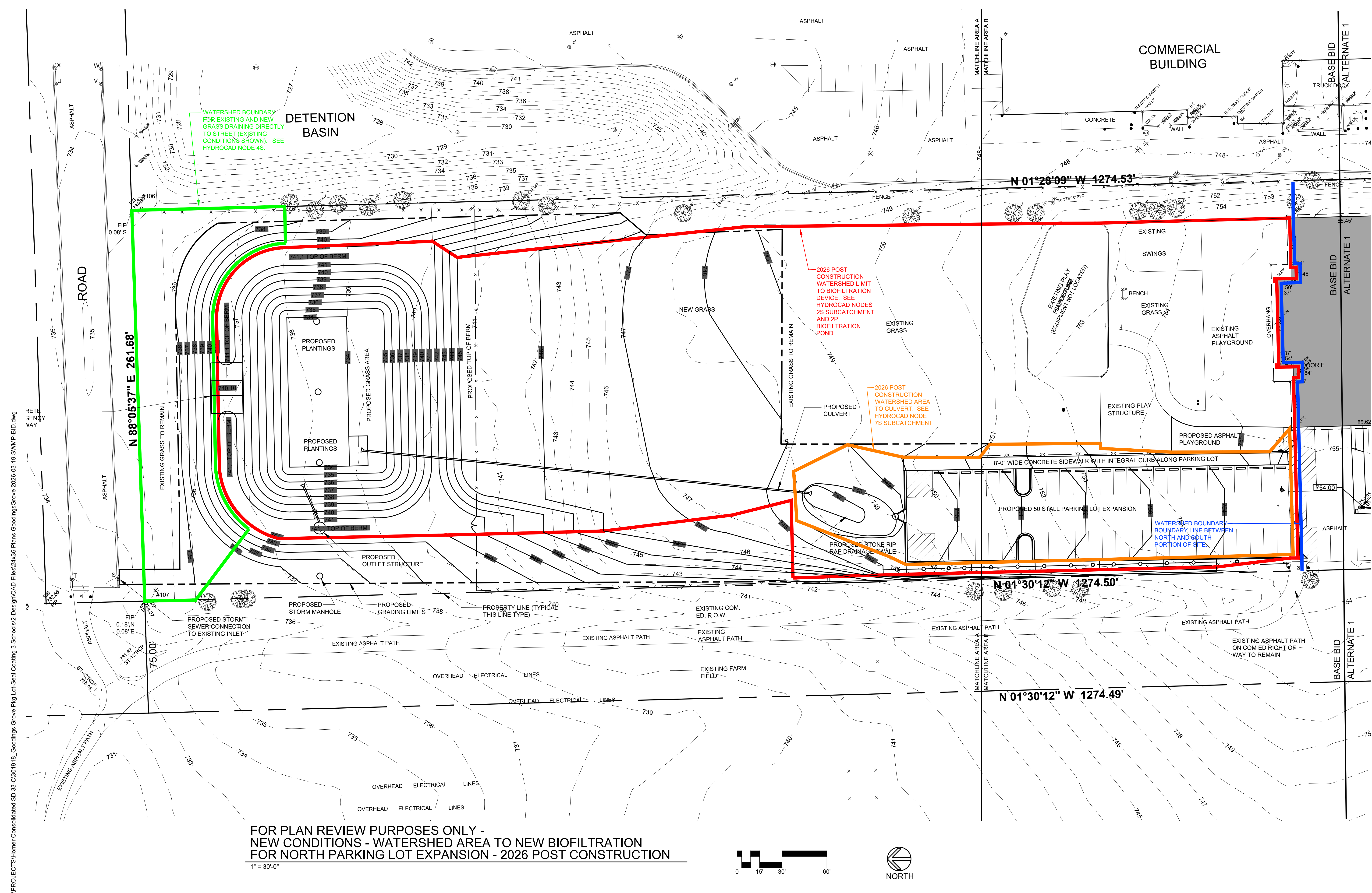
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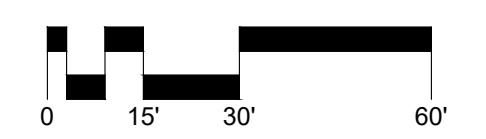
FOR PLAN REVIEW PURPOSES ONLY -
NEW CONDITIONS - WATERSHED
AREA TO NEW BIOFILTRATION FOR
2026 POST CONSTRUCTION

DATE: 03/19/2026
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**FOR PLAN REVIEW PURPOSES ONLY -
NEW CONDITIONS - WATERSHED AREA TO NEW BIOFILTRATION
FOR NORTH PARKING LOT EXPANSION - 2026 POST CONSTRUCTION**
1" = 30'-0"



- NOTES:
- 1.) ALL DIMENSIONS ARE BACK OF CURB OR EDGE OF PAVEMENT.
 - 2.) NEW SPOT ELEVATIONS ARE TOP OF NEW PAVEMENT OR TOP OF NEW SIDEWALK.
 - 3.) ADJUST ELEVATIONS OF ALL WATER VALVE ACCESS COVERS, MANHOLES, AND INLETS TO BE FLUSH WITH NEW PAVEMENT ELEVATIONS.
 - 4.) IRRIGATION SYSTEM IS OBSOLETE. DO NOT REPAIR DAMAGED IRRIGATION SYSTEM COMPONENTS.

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Consultants:

Signature:

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 CONSOLIDATED SCHOOL
 DISTRICT 33C**

**GOODINGS GROVE
 SCHOOL**

Project title:

**PARKING LOT EXPANSION
 AND IMPROVEMENTS**

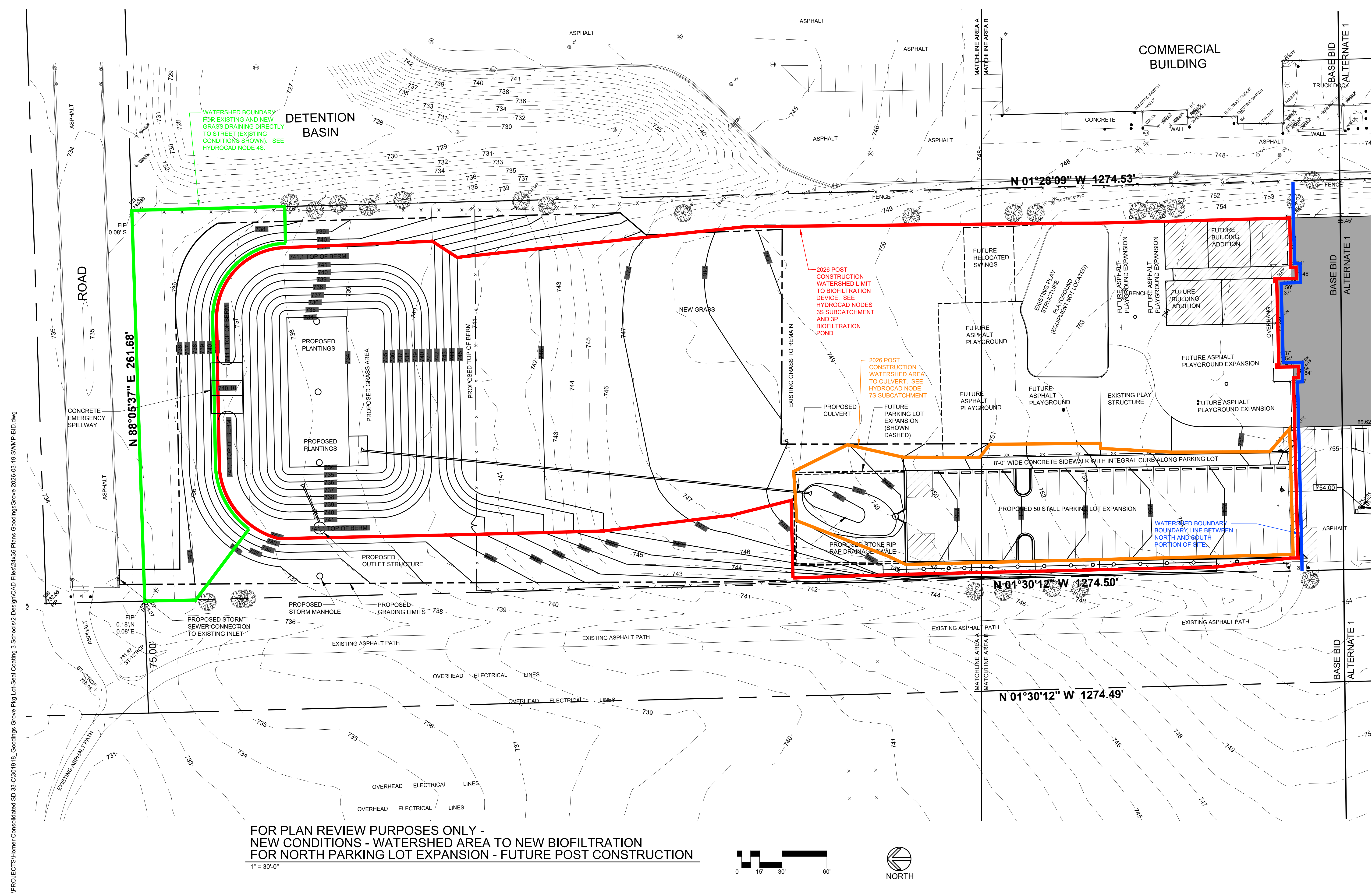
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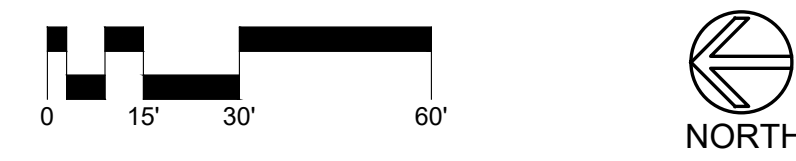
FOR PLAN REVIEW PURPOSES ONLY -
 NEW CONDITIONS - WATERSHED
 AREA TO NEW BIOFILTRATION FOR
 FUTURE POST CONSTRUCTION

DATE:	03/19/2026
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PROJECT MGR:	DR
DRAWN BY:	TR
CHECKED BY:	DR

Sheet No.:



**FOR PLAN REVIEW PURPOSES ONLY -
 NEW CONDITIONS - WATERSHED AREA TO NEW BIOFILTRATION
 FOR NORTH PARKING LOT EXPANSION - FUTURE POST CONSTRUCTION**
 1" = 30'-0"



STORM WATER MANAGEMENT PLAN NOTES:

- 1.) FUTURE DEVELOPMENT WORK IS NOT PART OF THE CURRENT PERMIT FOR THIS PROJECT.
- 2.) THE FUTURE POST CONSTRUCTION WORK WILL REQUIRE A SEPARATE PLAN REVIEW, APPROVAL, AND PERMIT AT THE TIME OF THE FUTURE IMPROVEMENTS. THE FUTURE AREA CALCULATIONS ARE PROVIDED TO SUPPORT THE SIZING OF THE CURRENT BIOFILTRATION POND TO ACCOMMODATE THE FUTURE WORK ASSUMING CODES AND REGULATIONS DO NOT CHANGE.

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SURVEY NOTES:
 EXISTING CONDITIONS BASE SURVEY AND SPOT ELEVATIONS PROVIDED BY JOSEPH A. SCHUDT & ASSOCIATES, 9455 ENTERPRISE DRIVE, MOKENA, ILLINOIS 60448. PHONE 708-720-1000.

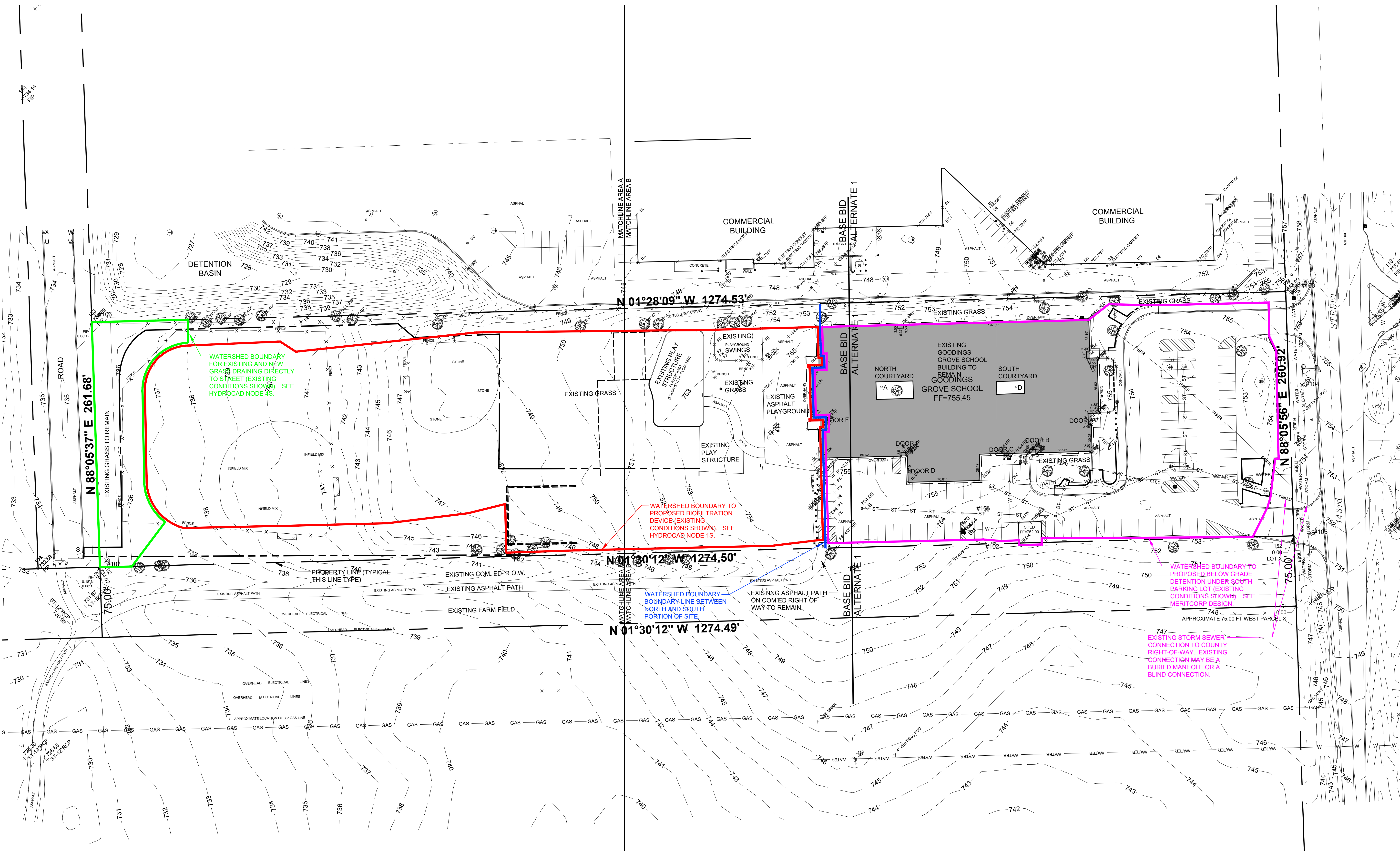


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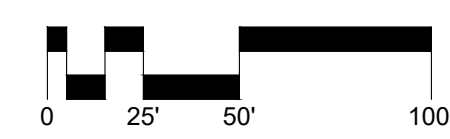
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Consultants:



FOR PLAN REVIEW PURPOSES ONLY -
EXISTING CONDITIONS - WATERSHED AREAS
FOR WHOLE SITE

1" = 50'-0"



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NOTES:
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2.) NEW SPOT ELEVATIONS ARE TOP OF NEW PAVEMENT OR TOP OF NEW SIDEWALK.
3.) ADJUST ELEVATIONS OF ALL WATER VALVE ACCESS COVERS, MANHOLES, AND INLETS TO BE FLUSH WITH NEW PAVEMENT ELEVATIONS.
4.) IRRIGATION SYSTEM IS OBSOLETE. DO NOT REPAIR DAMAGED IRRIGATION SYSTEM COMPONENTS.

CAUTION:
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Signature:

Issues and revisions:

ISSUE LEVEL / REVISION:	DATE:	No.:
98% COMPLETE	04/18/2025	
REVISED LAYOUT	12/03/2025	
VILLAGE OF HOMER GLEN PLAN		
PLAN REVIEW SUBMITTAL	12/15/2025	
SWMP UPDATE WITH PLAN		
COMMISSION REQUESTED		
BULK REGS AND TREE PRES.	03/12/2026	
BID SET	03/19/2026	

Client:
**HOMER COMMUNITY
CONSOLIDATED SCHOOL
DISTRICT 33C**

**GOODINGS GROVE
SCHOOL**

Project title:
**PARKING LOT EXPANSION
AND IMPROVEMENTS**
12914 W 143RD STREET
HOMER GLEN, ILLINOIS 60491

Sheet content:
FOR PLAN REVIEW PURPOSES ONLY -
EXISTING CONDITIONS - WATERSHED
AREAS FOR WHOLE SITE

DATE: 03/19/2026
CLIENT PROJECT No.: -
INSPEC PROJECT No.: 301918
PROJECT MGR: DR
DRAWN BY: TR
CHECKED BY: DR

Sheet No.: **C14**

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**HOMER COMMUNITY
CONSOLIDATED SCHOOL
DISTRICT 33C**

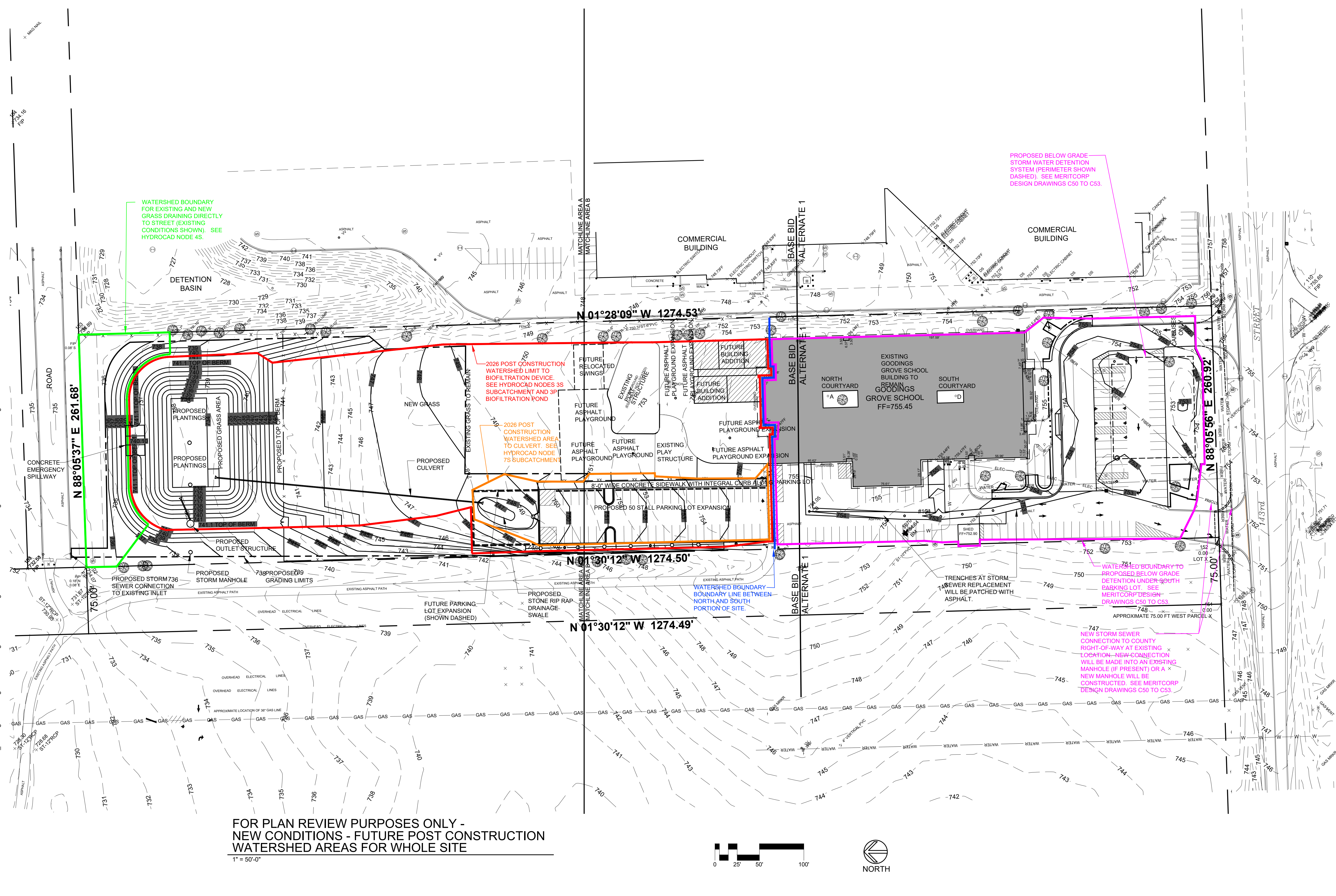
**GOODINGS GROVE
SCHOOL**

**PARKING LOT EXPANSION
AND IMPROVEMENTS**

12914 W 143RD STREET
HOMER GLEN, ILLINOIS 60491

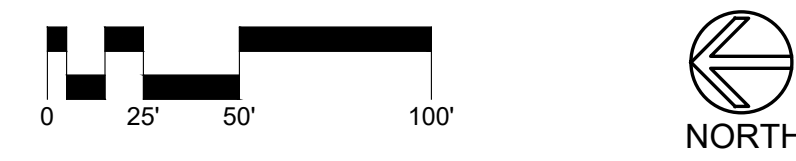
FOR PLAN REVIEW PURPOSES ONLY -
NEW CONDITIONS -
FUTURE POST CONSTRUCTION
WATERSHED AREAS FOR WHOLE SITE

DATE:	03/19/2026
CLIENT PROJECT No.:	-
INSPEC PROJECT No.:	301918
PROJECT MGR:	DR
DRAWN BY:	TR
CHECKED BY:	DR



**FOR PLAN REVIEW PURPOSES ONLY -
NEW CONDITIONS - FUTURE POST CONSTRUCTION
WATERSHED AREAS FOR WHOLE SITE**

1" = 50'-0"



STORM WATER MANAGEMENT PLAN NOTES:

- 1.) FUTURE DEVELOPMENT WORK IS NOT PART OF THE CURRENT PERMIT FOR THIS PROJECT.
- 2.) THE FUTURE POST CONSTRUCTION WORK WILL REQUIRE A SEPARATE PLAN REVIEW, APPROVAL, AND PERMIT AT THE TIME OF THE FUTURE IMPROVEMENTS. THE FUTURE AREA CALCULATIONS ARE PROVIDED TO SUPPORT THE SIZING OF THE CURRENT BIOFILTRATION POND TO ACCOMMODATE THE FUTURE WORK ASSUMING CODES AND REGULATIONS DO NOT CHANGE.

NOTES:

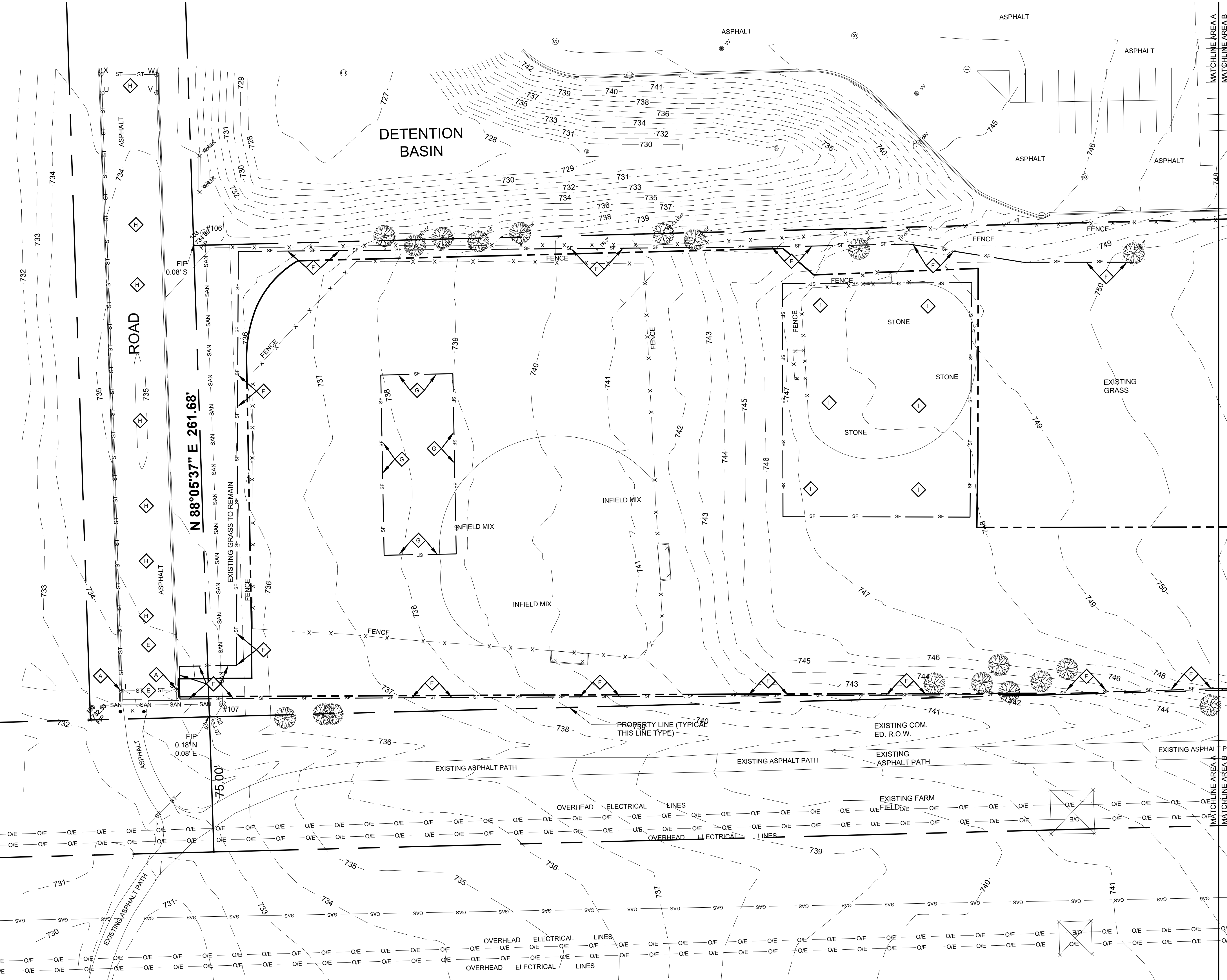
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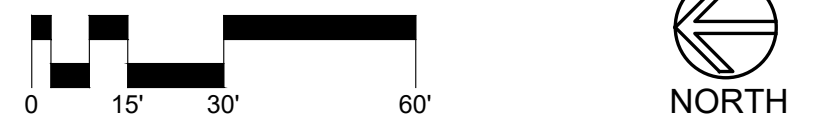
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SURVEY NOTES:
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BASE BID AREA A EROSION CONTROL PLAN
1" = 30'-0"



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EROSION CONTROL NOTES:

BASE BID:

APPROXIMATE CONSTRUCTION SEQUENCE AND SCHEDULE (SEE PROJECT MANUAL FOR EXACT DATES):
 SOIL EROSION AND SEDIMENT CONTROL MAINTENANCE MUST OCCUR EVERY TWO WEEKS AND AFTER EVERY 1/2 OR GREATER RAINFALL EVENT REMOVALS - JUNE 2026
 BASE AGGREGATE AND GRADING - JUNE 2026
 CONCRETE WORK - JUNE/JULY 2026
 ASPHALT PAVING - JULY 2026
 LANDSCAPING AND RESTORATION - JULY 2026
 REMOVE ALL TEMPORARY SE/SC MEASURES AFTER THE SITE IS STABILIZED WITH VEGETATION
 REMOVAL OF EROSION CONTROL DEVICES - JULY 2026

- 4. INSTALL SEDIMENT BAG/FILTER INLET PROTECTION PER DETAIL C-IL-SUBMIT ON SHEET C51 AND PER SPECIFICATIONS.
- 5. INSTALL 20' X 50' CONSTRUCTION ENTRANCE PER DETAIL NRCS-IL-630 ON SHEET C51 AND PER SPECIFICATIONS.
- 6. INSTALL SILT SOCK/SILT LOGS ACROSS PAVED AREAS. HOLD IN PLACE WITH SAND BAGS OR OTHER MEANS. SILT SOCK/SILT LOG SHALL BE 12" DIAMETER AND COMPOSED OF 100% AGRICULTURAL STRAW FIBER WRAPPED IN UV STABILIZED SYNTHETIC TUBULAR NETTING. SEE DETAIL 6/C51.
- 7. INSTALL TEMPORARY CONCRETE WASHOUT FACILITY - STRAW BALE TYPE PER DETAIL IUM-654SB ON SHEET C51.
- 8. IMMEDIATELY REMOVE ANY SEDIMENT AND/OR OTHER MATERIALS TRACKED ONTO ADJACENT PARKING LOT AND/OR STREET VIA STREET CLEANING OTHER THAN FLUSHING
- 9. INSTALL SILT FENCE PRIOR TO CONSTRUCTION. SEE DETAILS IUM-620A(W) AND IUM-620B(W) ON SHEET C51 AND PER SPECIFICATIONS.
- 10. INSTALL SILT FENCE AT PERIMETER OF BIOFILTRATION DEVICE PRIOR TO INSTALLING DRAIN TILE, DRAINAGE AGGREGATE, AND ENGINEERED SOIL MIXTURE.
- 11. PUBLIC STREET SHALL NOT BE USED FOR CONSTRUCTION ACCESS TO SITE. CONSTRUCTION ACCESS TO SITE IS FROM 143RD STREET.
- 12. TEMPORARY TOPSOIL STOCKPILE AREA. SEE DETAIL 1/C64.

SOIL EROSION AND SEDIMENT CONTROL CONSTRUCTION NOTES:

- A. SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF HYDROLOGIC DISTURBANCE OF UPLAND AREAS.
- B. INSPECTIONS AND DOCUMENTATION SHALL BE PERFORMED, AT A MINIMUM:
 - UPON COMPLETION OF SEDIMENT AND RUNOFF CONTROL MEASURES (INCLUDING PERIMETER CONTROLS AND DIVERSIONS), PRIOR TO PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING.
 - AFTER EVERY SEVEN (7) CALENDAR DAYS OR STORM EVENT WITH GREATER THAN 0.5 INCH OF RAINFALL OR LIQUID EQUIVALENT PRECIPITATION.
- C. SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. IF STRIPPING, CLEARING, GRADING, OR LANDSCAPING ARE TO BE DONE IN PHASES, THE PERMITTEE SHALL PLAN FOR APPROPRIATE SOIL EROSION AND SEDIMENT CONTROL MEASURES.
- D. A STABILIZED MAT OF CRUSHED STONE MEETING IDOT GRADATION CA-1 UNDERLAIN WITH FILTER FABRIC AND IN ACCORDANCE WITH THE ILLINOIS URBAN MANUAL, OR OTHER APPROPRIATE MEASURE(S) AS APPROVED BY THE ENFORCEMENT OFFICER, SHALL BE INSTALLED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE. SEDIMENT OR SOIL REACHING AN IMPROVED PUBLIC RIGHT-OF-WAY, STREET, ALLEY OR PARKING AREA SHALL BE REMOVED BY SCRAPING OR STREET CLEANING AS ACCUMULATIONS WARRANT AND TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL AREA.
- E. TEMPORARY DIVERSIONS SHALL BE CONSTRUCTED AS NECESSARY TO DIRECT ALL RUNOFF FROM HYDROLOGICALLY DISTURBED AREAS TO AN APPROPRIATE SEDIMENT TRAP OR BASIN.
- F. DISTURBED AREAS SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN SEVEN (7) CALENDAR DAYS FOLLOWING THE END OF ACTIVE HYDROLOGIC DISTURBANCE OR REDISTURBANCE.
- G. ALL STOCKPILES SHALL HAVE APPROPRIATE MEASURES TO PREVENT EROSION. STOCKPILES SHALL NOT BE PLACED IN FLOOD PRONE AREAS OR WETLANDS AND DESIGNATED BUFFERS.
- H. SLOPES STEEPER THAN 3H:1V SHALL BE STABILIZED WITH APPROPRIATE MEASURES AS APPROVED BY THE ENFORCEMENT OFFICER.
- I. APPROPRIATE EROSION CONTROL BLANKET SHALL BE INSTALLED ON ALL INTERIOR DETENTION BASIN SIDE SLOPES BETWEEN THE NORMAL WATER LEVEL AND HIGH WATER LEVEL.
- J. STORM SEWERS THAT ARE OR WILL BE FUNCTIONING DURING CONSTRUCTION SHALL BE PROTECTED BY AN APPROPRIATE SEDIMENT CONTROL MEASURE.
- K. IF DEWATERING SERVICES ARE USED, ADJOINING PROPERTIES AND DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION. DISCHARGES SHALL BE ROUTED THROUGH AN APPROVED ANIONIC POLYMER DEWATERING SYSTEM OR A SIMILAR MEASURE. DEWATERING SYSTEMS SHOULD BE INSPECTED DAILY DURING OPERATIONAL PERIODS.
- L. IF INSTALLED SOIL EROSION AND SEDIMENT CONTROL MEASURES DO NOT MINIMIZE SEDIMENT LEAVING THE DEVELOPMENT SITE, ADDITIONAL MEASURES SUCH AS ANIONIC POLYMERS OR FILTRATION SYSTEMS MAY BE REQUIRED BY THE ENGINEER/AUTHORITY HAVING JURISDICTION.
- M. ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES MUST BE MAINTAINED AND REPAIRED AS NEEDED. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MAINTENANCE AND REPAIR.
- N. ALL TEMPORARY SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
- O. THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED, AS DIRECTED BY THE ENGINEER, OR AUTHORITY HAVING JURISDICTION.

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 Consultants:

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Client:
HOMER COMMUNITY CONSOLIDATED SCHOOL DISTRICT 33C

GOODINGS GROVE SCHOOL
 Project title:

PARKING LOT EXPANSION AND IMPROVEMENTS
 12914 W 143RD STREET
 HOMER GLEN, ILLINOIS 60491

Sheet content:
AREA A EROSION CONTROL PLAN

DATE: 03/19/2026
 CLIENT PROJECT No.: -
 INSPEC PROJECT No.: 301918
 PROJECT MGR: DR
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 CHECKED BY: DR

Sheet No.: **C20**



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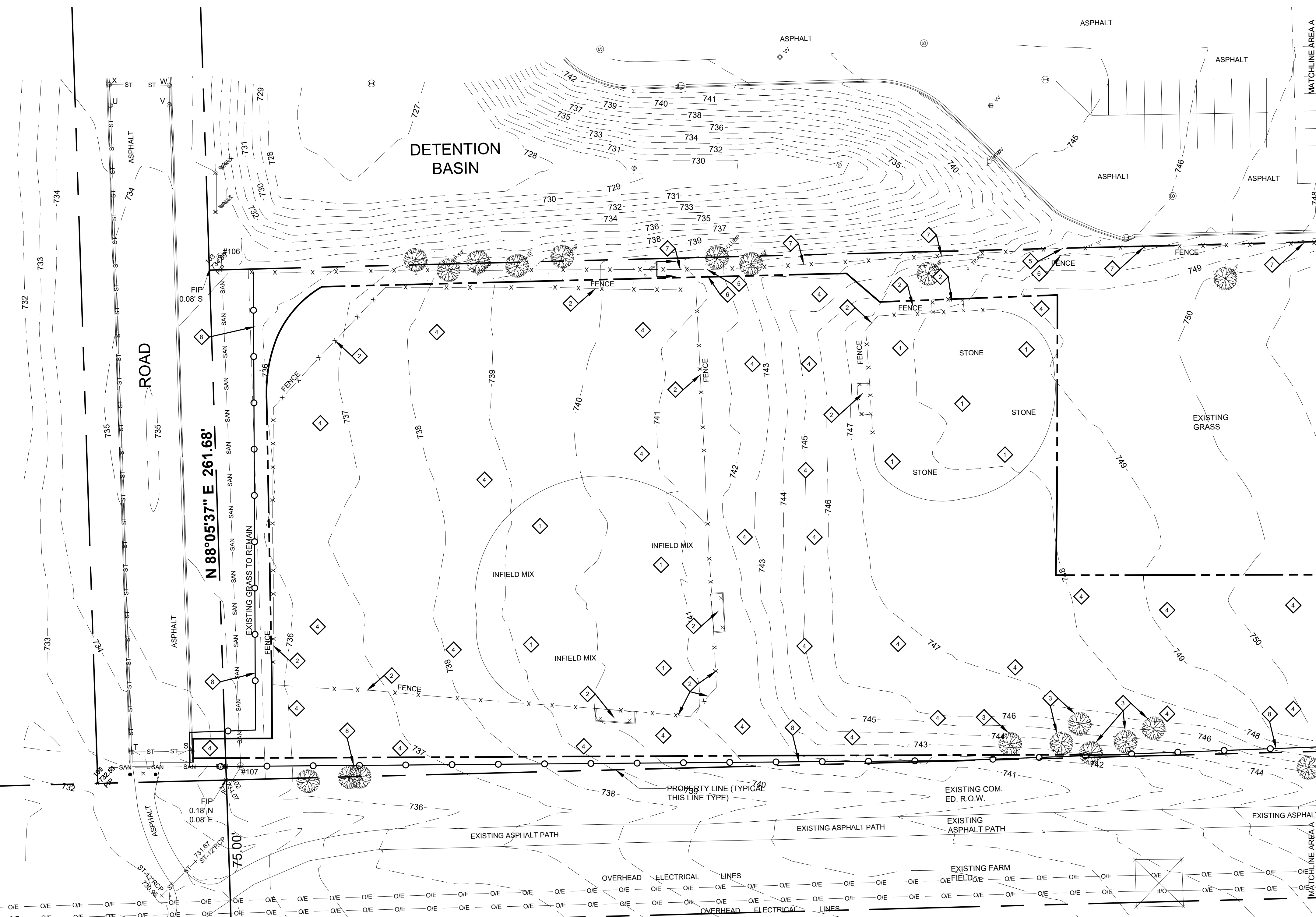
AREA A

REMOVAL PLAN

DATE: 03/19/2026
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DRAWN BY: TR
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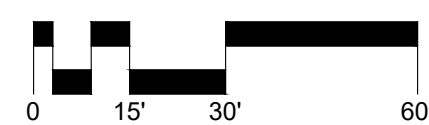
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**BASE BID
AREA A
REMOVAL PLAN**

1" = 30'-0"



REMOVAL NOTES:

BASE BID:

- 1 REMOVE SOFTBALL FIELD INFIELD SKIN/MIX AND SUBSOILS DOWN TO SUBGRADE ELEVATION.
- 2 REMOVE ALL FENCING, BACKSTOP, POSTS, FABRIC, RAILS, AND CONCRETE FOOTINGS AT OBSOLETE SOFTBALL FIELD. REMOVE BENCHES AND CONCRETE FOOTING. BACKFILL ALL FOOTINGS WITH 3/8" TO 3/4" STONE CHIPS (NO FINES).
- 3 REMOVE TREES, STUMPS, AND SHRUBS BRUSH.
- 4 REMOVE TOPSOIL AND SUBSOILS DOWN TO SUBGRADE ELEVATIONS. EXISTING SUBSOILS TO BE USED AS FILL WHERE REQUIRED. IN FILL AREAS, REMOVE TOPSOIL BEFORE PLACING FILL. STOCKPILE EXISTING TOPSOIL FOR REUSE. PULVERIZE AND SCREEN TOPSOIL PRIOR TO REINSTALLATION. REMOVE EXCESS SUBSOILS FROM SITE.
- 5 MODIFY OPENING IN FENCE AS NECESSARY TO INSTALL NEW GATE.
- 6 REMOVE APPROX. 8'-0" LONG SECTION OF FENCING, POSTS, RAILS, FABRIC, AND CONCRETE FOOTINGS. BACKFILL ALL FOOTINGS WITH 3/8" TO 3/4" STONE CHIPS (NO FINES).
- 7 REMOVE EXISTING FENCE FABRIC.
- 8 INSTALL 4'-0" HIGH ORANGE CONSTRUCTION FENCING (TYPICAL THIS LINE TYPE)

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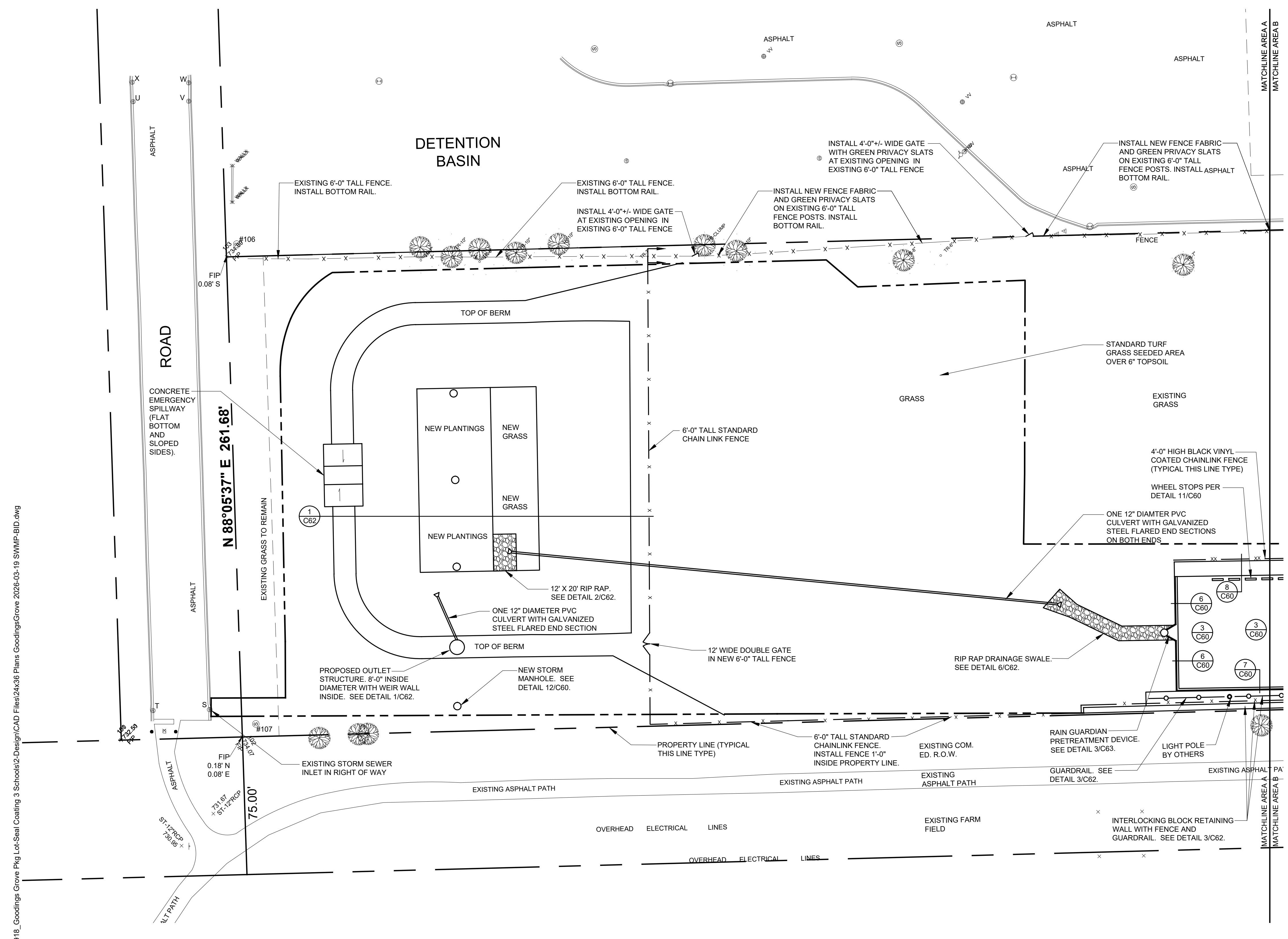
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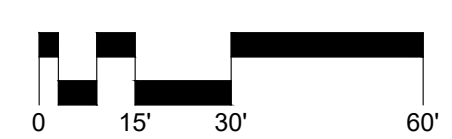
AREA A
 NEW CONDITIONS - SITE PLAN

DATE: 03/19/2026
 CLIENT PROJECT No.: -
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**BASE BID AREA A
 NEW CONDITIONS - SITE PLAN**
 1" = 30'-0"



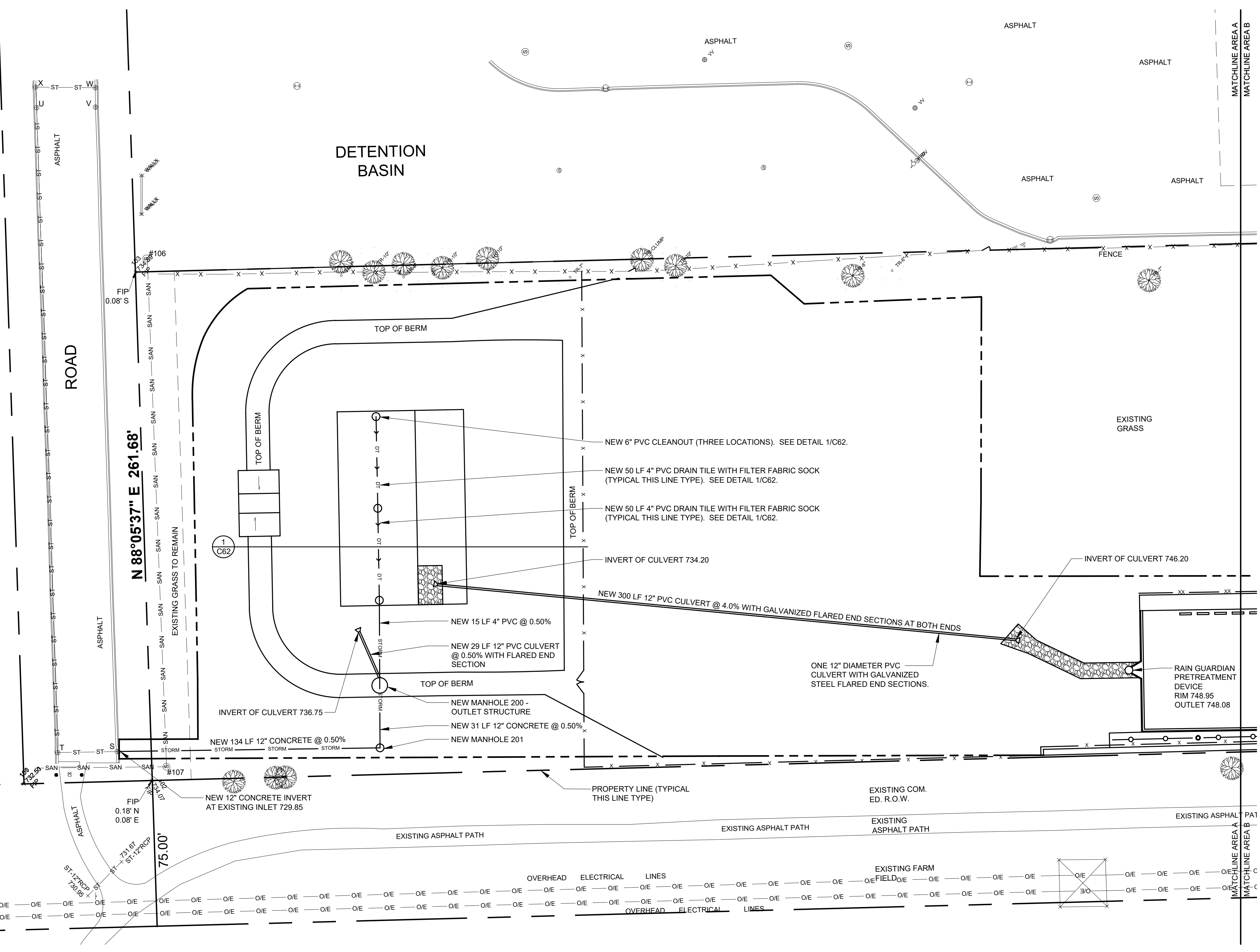
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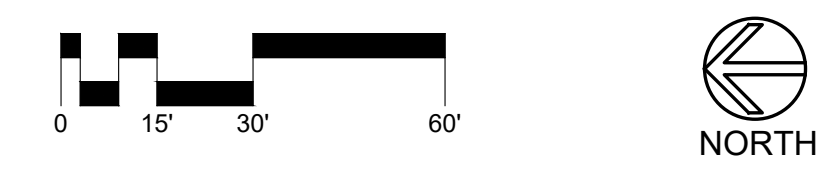
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**BASE BID
AREA A
NEW CONDITIONS - PLUMBING PLAN WITH UTILITIES**
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EXISTING STORM SEWER INLET, CATCH BASIN, AND MANHOLE INFORMATION:

EXISTING INLET S	RIM 732.86 INV N 12' 729.74
EXISTING INLET T	RIM 732.88 INV E 12' 728.93 INV S 12' 728.92
EXISTING INLET U	RIM 733.23 INV W 12' 727.78 INV E 12' 727.38
EXISTING INLET V	RIM 733.74 INV E 12' 729.59
EXISTING INLET W	RIM 733.77 INV N 12' 729.54 INV W 12' 729.52
EXISTING INLET X	RIM 733.22 INV S 12' 729.03 INV W 12' 727.39 INV E 15' 727.36

EXISTING SANITARY SEWER MANHOLE INFORMATION:

EXISTING MANHOLE 106	RIM 735.45 INV E 720.25 INV W 720.25
EXISTING MANHOLE 107	RIM 734.99 INV N 715.78 INV E 715.78

EXISTING STORM SEWER MODIFICATIONS AND REPAIRS:

BASE BID:
EXISTING INLET S
CONNECT NEW 12" CONCRETE STORM SEWER PIPE AT INVERT 729.85. REMUD STRUCTURE TO FILL ANY/ALL VOIDS.

NEW STORM STRUCTURE SCHEDULE:

BASE BID:	
NEW MANHOLE 200 96" INSIDE DIAMETER WITH WEIR WALL TWO ROUND FRAMES AND COVERS SEE DETAIL 1/C62 FOR WEIR WALL AND FLOW REDUCTION DEVICES	RIM 743.75 MIN. ELEVATION FOR BOTTOM OF CONCRETE LID 741.75 TOP OF WEIR WALL 740.10 INV 12" PVC NE 736.60 INV 4" PVC E 731.55 INV 12" CONCRETE W 730.90 SUMP 728.50
NEW MANHOLE 201 48" INSIDE DIAMETER ROUND FRAME AND SOLID COVER SEE DETAIL 12/C60	RIM 737.50 INV 12" CONCRETE E 730.75 INV 12" CONCRETE N 730.54 SUMP 728.00
NEW RAIN GUARDIAN PRETREATMENT DEVICE SEE DETAIL 3/C63	RIM 748.95 OUTLET 748.08

NOTES:
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3.) ADJUST ELEVATIONS OF ALL WATER VALVE ACCESS COVERS, MANHOLES, AND INLETS TO BE FLUSH WITH NEW PAVEMENT ELEVATIONS.
4.) IRRIGATION SYSTEM IS OBSOLETE. DO NOT REPAIR DAMAGED IRRIGATION SYSTEM COMPONENTS.

CAUTION:
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Signature: _____

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98% COMPLETE	04/18/2025	
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VILLAGE OF HOMER GLEN PLAN PLAN REVIEW SUBMITTAL	12/15/2025	
SWMP UPDATE WITH PLAN COMMISSION REQUESTED		
BULK REGS AND TREE PRES.	03/12/2026	
BID SET	03/19/2026	

Client: _____

HOMER COMMUNITY CONSOLIDATED SCHOOL DISTRICT 33C

GOODINGS GROVE SCHOOL

Project title: _____

PARKING LOT EXPANSION AND IMPROVEMENTS

12914 W 143RD STREET
HOMER GLEN, ILLINOIS 60491

Sheet content: _____

AREA A
NEW CONDITIONS - PLUMBING PLAN WITH UTILITIES

DATE: 03/19/2026
CLIENT PROJECT No.: -
INSPEC PROJECT No.: 301918
PROJECT MGR: DR
DRAWN BY: TR
CHECKED BY: DR

Sheet No.: _____



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Suite 1109
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Client:

HOMER COMMUNITY
CONSOLIDATED SCHOOL
DISTRICT 33C

GOODINGS GROVE
SCHOOL

Project title:

PARKING LOT EXPANSION
AND IMPROVEMENTS

12914 W 143RD STREET
HOMER GLEN, ILLINOIS 60491

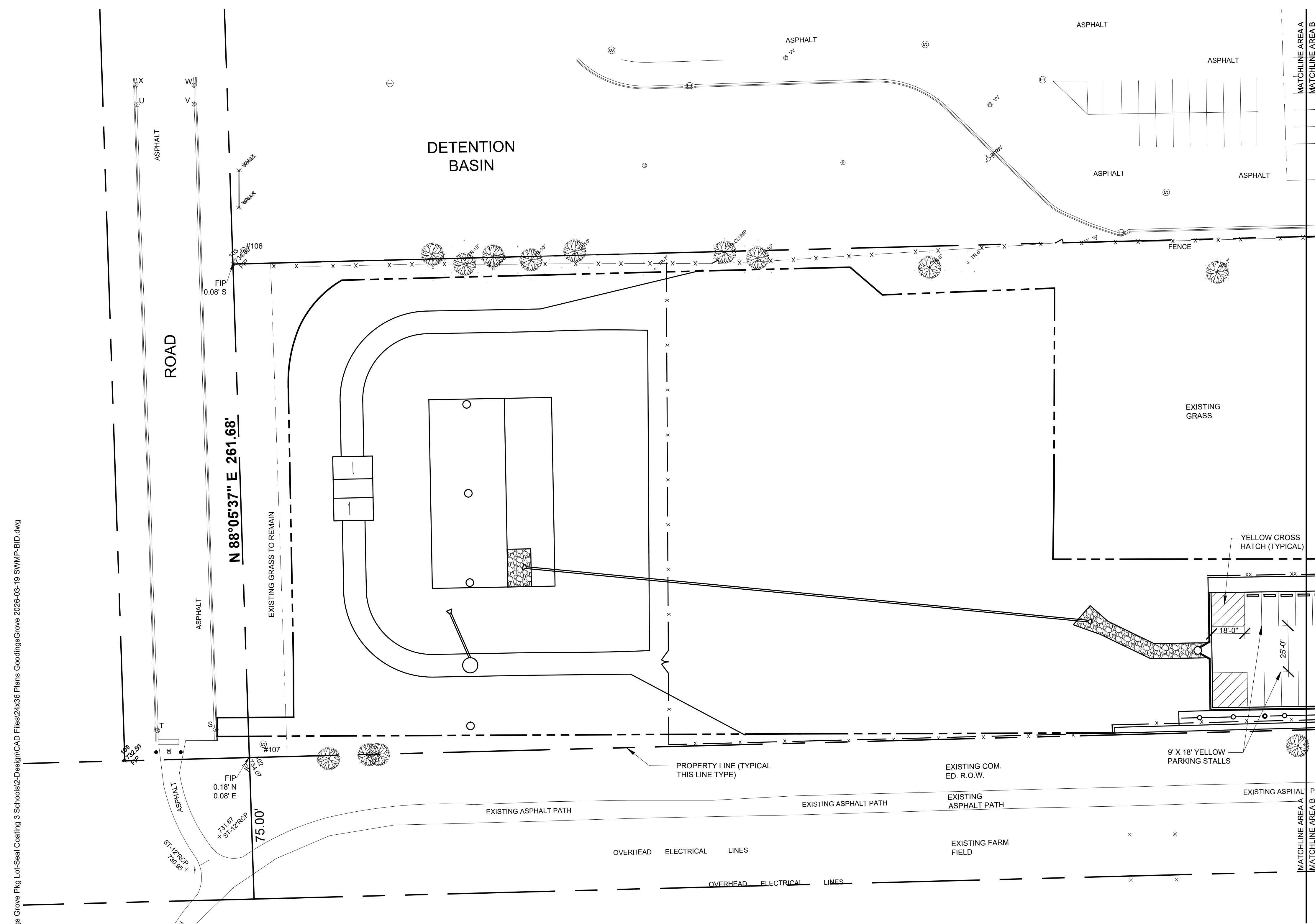
Sheet content:

AREA A
NEW CONDITIONS - STRIPING AND
SIGNAGE PLAN

DATE: 03/19/2026
CLIENT PROJECT No.: -
INSPEC PROJECT No.: 301918
PROJECT MGR: DR
DRAWN BY: TR
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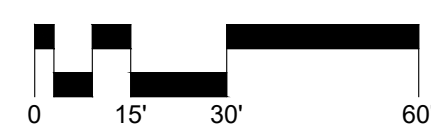
Sheet No.:

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**BASE BID
AREA A
NEW CONDITIONS - STRIPING AND SIGNAGE PLAN**

1" = 30'-0"

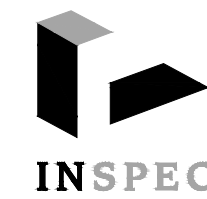


SURVEY NOTES:
EXISTING CONDITIONS BASE SURVEY AND SPOT ELEVATIONS PROVIDED BY JOSEPH A. SCHUDT & ASSOCIATES, 9455 ENTERPRISE DRIVE, MOKENA, ILLINOIS 60448. PHONE 708-720-1000.

NOTES:
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Client:

HOMER COMMUNITY CONSOLIDATED SCHOOL DISTRICT 33C

GOODINGS GROVE SCHOOL

Project title:

PARKING LOT EXPANSION AND IMPROVEMENTS

12914 W 143RD STREET
HOMER GLEN, ILLINOIS 60491

Sheet content:

AREA A

NEW CONDITIONS - LANDSCAPE PLAN

DATE: 03/19/2026

CLIENT PROJECT No.: -

INSPEC PROJECT No.: 301918

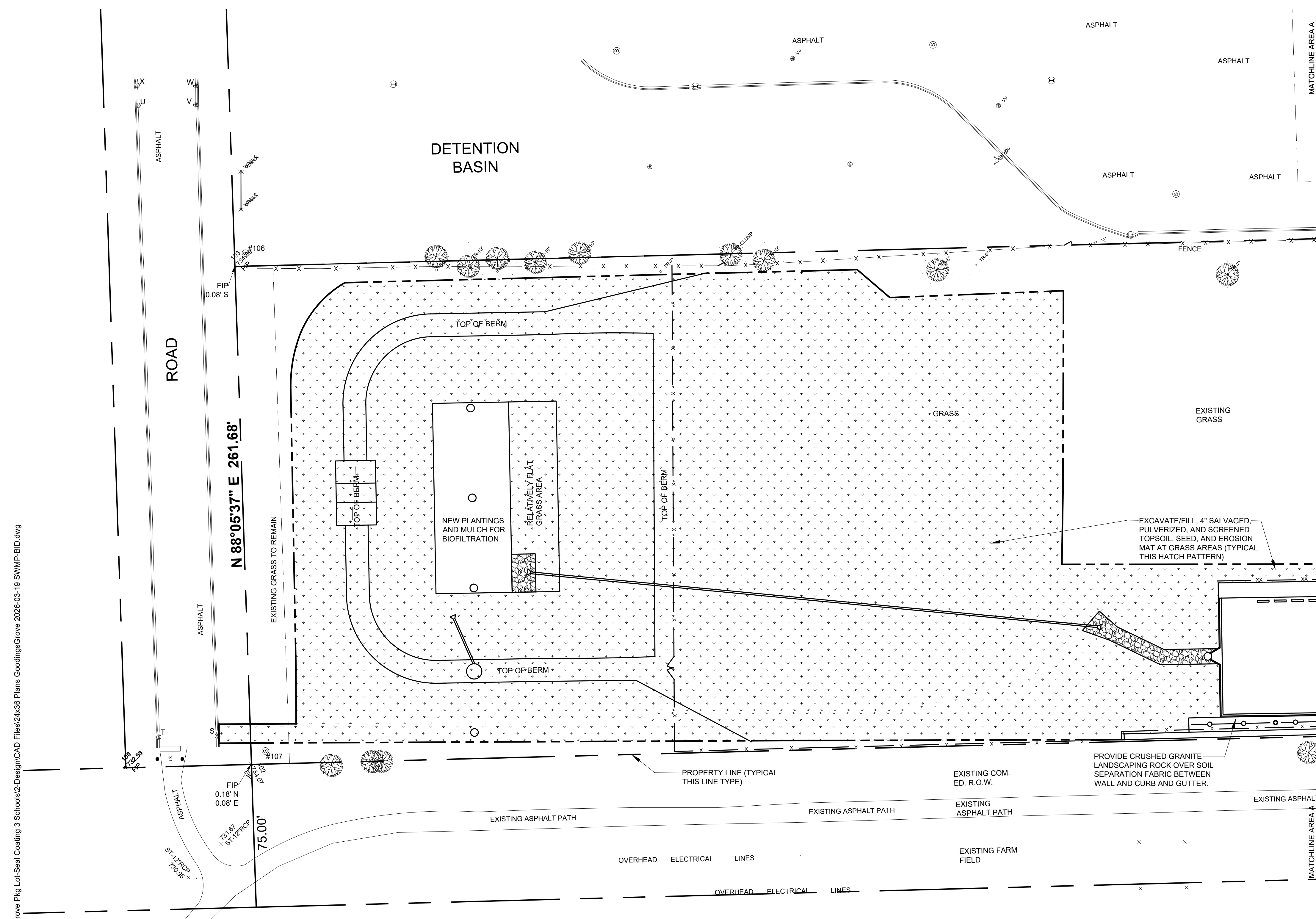
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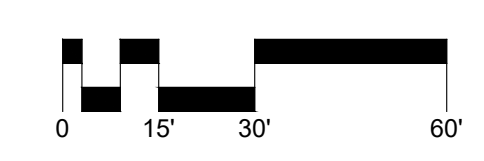
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BASE BID AREA A NEW CONDITIONS - LANDSCAPE PLAN

1" = 30'-0"



NEW PLANTING SCHEDULE

- SEE DETAIL 1/C62 FOR PLANTINGS AND MULCH TYPE IN BIOFILTRATION DEVICE.

LANDSCAPING NOTES:

- LANDSCAPE ISLANDS SHALL HAVE 3" THICK, BROWN COLORED MULCH INSTALLED OVER LANDSCAPE FABRIC OVER 6" NEW TOPSOIL.
- AT SHRUB PLANTING LOCATIONS, PROVIDE 12" AREA OF NEW TOPSOIL AROUND ALL SIDES OF ROOT BALL AND 12" THICK MINIMUM BELOW ROOT BALL.
- SEE TREE PLANTING DETAIL ON 2/C63 FOR NEW TREES.
- GRASS RESTORATION AREAS SHALL BE 4" MINIMUM SALVAGED, PULVERIZED, AND SCREENED TOPSOIL, SEED, AND EROSION MAT.
- 2" THICK, CRUSHED GRANITE LANDSCAPE ROCK OVER SOIL SEPARATION FABRIC BETWEEN RETAINING WALL AND CURB AND GUTTER OF NEW PARKING LOT.
- SEED MIXTURE SHALL BE 50% BLUEGRASSES AND 50% PERENNIAL RYE GRASSES. SEE SPECIFICATIONS FOR FURTHER DETAILS.
- EROSION MAT SHALL BE SINGLE NET STRAW BLANKET WITH LIGHTWEIGHT ACCELERATED PHOTODEGRADABLE POLYPROPYLENE NET, STRAW FIBER, AND DEGRADABLE THREAD. MAT SHALL DEGRADE WITHIN 45 TO 60 DAYS.
- SEE DETAIL 1/C62 FOR ENGINEERED SOIL MIX AND MULCH FOR BIORETENTION AREA. TOPSOIL FOR ENGINEERED SOIL MIX SHALL BE IMPORTED TOPSOIL.

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SURVEY NOTES:
EXISTING CONDITIONS BASE SURVEY AND SPOT ELEVATIONS PROVIDED BY JOSEPH A. SCHUDT & ASSOCIATES, 9455 ENTERPRISE DRIVE, MOKENA, ILLINOIS 60448. PHONE 708-720-1000.

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Client:
**HOMER COMMUNITY
 CONSOLIDATED SCHOOL
 DISTRICT 33C**

**GOODINGS GROVE
 SCHOOL**

Project title:

**PARKING LOT EXPANSION
 AND IMPROVEMENTS**

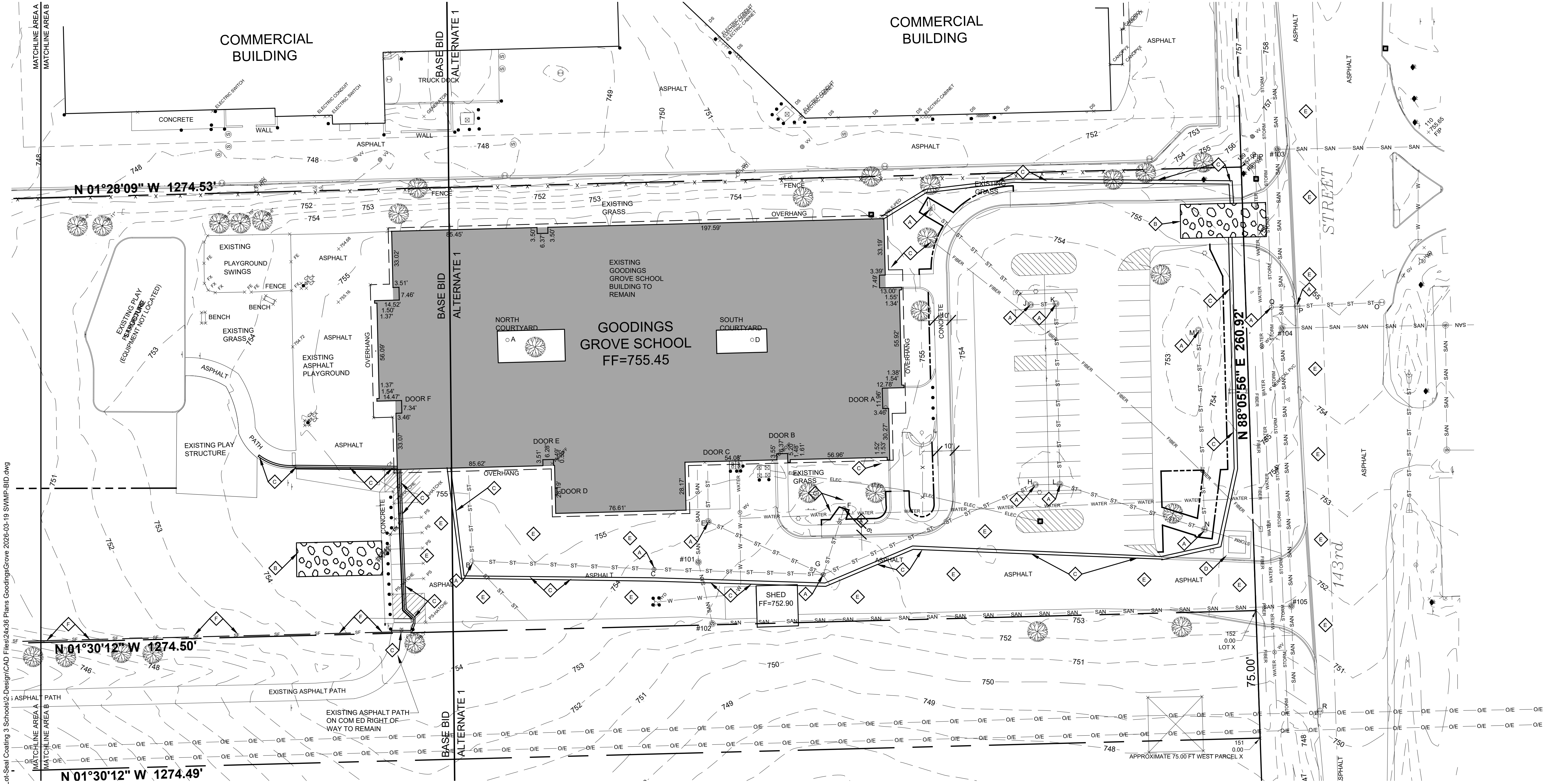
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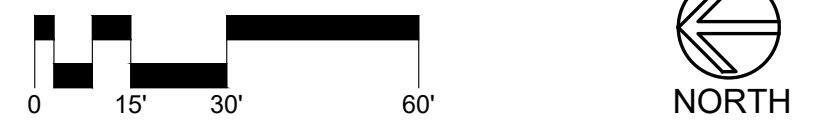
**AREA B
 EROSION CONTROL PLAN**

DATE: 03/19/2026
 CLIENT PROJECT No.: -
 INSPEC PROJECT No.: 301918
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 CHECKED BY: DR

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**BASE BID AND ALTERNATE 1
 AREA B
 EROSION CONTROL PLAN**
 1" = 30'-0"



EROSION CONTROL NOTES:

- APPROXIMATE CONSTRUCTION SEQUENCE AND SCHEDULE (SEE PROJECT MANUAL FOR EXACT DATES):
- INSTALL EROSION CONTROL DEVICES JUNE 2026
 - SOIL EROSION AND SEDIMENT CONTROL MAINTENANCE MUST OCCUR EVERY TWO WEEKS AND AFTER EVERY 1/4 OR GREATER RAINFALL EVENT
 - REMOVALS AND GRADING - JUNE 2026
 - STORM SEWER AND DETENTION - JUNE 2026
 - BASE AGGREGATE AND GRADING - JULY 2026
 - CONCRETE WORK - JULY 2026
 - ASPHALT PAVING - JULY 2026
 - LANDSCAPING AND RESTORATION - JULY 2026
 - REMOVE ALL TEMPORARY SE/SC MEASURES AFTER THE SITE IS STABILIZED WITH VEGETATION
 - REMOVAL OF EROSION CONTROL DEVICES - AUGUST 2026
- INSTALL SEDIMENT BAG/FILTER INLET PROTECTION PER DETAIL C-IL-SUBMIT ON SHEET C51 AND PER SPECIFICATIONS.
 - INSTALL SILT FENCE PRIOR TO CONSTRUCTION. SEE DETAILS IUM-620A(W) AND IUM-620B(W) ON SHEET C51 AND PER SPECIFICATIONS.
 - INSTALL 20' X 50' CONSTRUCTION ENTRANCE PER DETAIL NRCS-IL-630 ON SHEET C51 AND PER SPECIFICATIONS.
 - INSTALL SILT SOCK/SILT LOGS. HOLD IN PLACE WITH SAND BAGS OR OTHER MEANS. SILT SOCK/SILT LOG SHALL BE 12" DIAMETER AND COMPOSED OF 100% AGRICULTURAL STRAW FIBER WRAPPED IN UV STABILIZED SYNTHETIC TUBULAR NETTING. SEE DETAIL 6/C51.
 - INSTALL TEMPORARY CONCRETE WASHOUT FACILITY - STRAW BALE TYPE PER DETAIL IUM-654SB ON SHEET C51.
 - IMMEDIATELY REMOVE ANY SEDIMENT AND/OR OTHER MATERIALS TRACKED ONTO ADJACENT PARKING LOT AND/OR STREET VIA STREET CLEANING OTHER THAN FLUSHING.

SOIL EROSION AND SEDIMENT CONTROL CONSTRUCTION NOTES:

- A. SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF HYDROLOGIC DISTURBANCE OF UPLAND AREAS.
- B. INSPECTIONS AND DOCUMENTATION SHALL BE PERFORMED, AT A MINIMUM:
 - UPON COMPLETION OF SEDIMENT AND RUNOFF CONTROL MEASURES (INCLUDING PERIMETER CONTROLS AND DIVERSIONS), PRIOR TO PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING.
 - AFTER EVERY SEVEN (7) CALENDAR DAYS OR STORM EVENT WITH GREATER THAN 0.5 INCH OF RAINFALL OR LIQUID EQUIVALENT PRECIPITATION.
- C. SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. IF STRIPPING, CLEARING, GRADING, OR LANDSCAPING ARE TO BE DONE IN PHASES, THE PERMITTEE SHALL PLAN FOR APPROPRIATE SOIL EROSION AND SEDIMENT CONTROL MEASURES.
- D. A STABILIZED MAT OF CRUSHED STONE MEETING IDOT GRADATION CA-1 UNDERLAIN WITH FILTER FABRIC AND IN ACCORDANCE WITH THE ILLINOIS URBAN MANUAL, OR OTHER APPROPRIATE MEASURE(S) AS APPROVED BY THE ENFORCEMENT OFFICER, SHALL BE INSTALLED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE. SEDIMENT OR SOIL REACHING AN IMPROVED PUBLIC RIGHT-OF-WAY, STREET, ALLEY OR PARKING AREA SHALL BE REMOVED BY SCRAPING OR STREET CLEANING AS ACCUMULATIONS WARRANT AND TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL AREA.
- E. TEMPORARY DIVERSIONS SHALL BE CONSTRUCTED AS NECESSARY TO DIRECT ALL RUNOFF FROM HYDROLOGICALLY DISTURBED AREAS TO AN APPROPRIATE SEDIMENT TRAP OR BASIN.
- F. DISTURBED AREAS SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN SEVEN (7) CALENDAR DAYS FOLLOWING THE END OF ACTIVE HYDROLOGIC DISTURBANCE OR REDISTURBANCE.
- G. ALL STOCKPILES SHALL HAVE APPROPRIATE MEASURES TO PREVENT EROSION. STOCKPILES SHALL NOT BE PLACED IN FLOOD PRONE AREAS OR WETLANDS AND DESIGNATED BUFFERS.
- H. SLOPES STEEPER THAN 3H:1V SHALL BE STABILIZED WITH APPROPRIATE MEASURES AS APPROVED BY THE ENFORCEMENT OFFICER.
- I. APPROPRIATE EROSION CONTROL BLANKET SHALL BE INSTALLED ON ALL INTERIOR DETENTION BASIN SIDE SLOPES BETWEEN THE NORMAL WATER LEVEL AND HIGH WATER LEVEL.
- J. STORM SEWERS THAT ARE OR WILL BE FUNCTIONING DURING CONSTRUCTION SHALL BE PROTECTED BY AN APPROPRIATE SEDIMENT CONTROL MEASURE.
- K. IF DEWATERING SERVICES ARE USED, ADJOINING PROPERTIES AND DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION. DISCHARGES SHALL BE ROUTED THROUGH AN APPROVED ANIONIC POLYMER DEWATERING SYSTEM OR A SIMILAR MEASURE. DEWATERING SYSTEMS SHOULD BE INSPECTED DAILY DURING OPERATIONAL PERIODS.
- L. IF INSTALLED SOIL EROSION AND SEDIMENT CONTROL MEASURES DO NOT MINIMIZE SEDIMENT LEAVING THE DEVELOPMENT SITE, ADDITIONAL MEASURES SUCH AS ANIONIC POLYMERS OR FILTRATION SYSTEMS MAY BE REQUIRED BY THE ENGINEER/AUTHORITY HAVING JURISDICTION.
- M. ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES MUST BE MAINTAINED AND REPAIRED AS NEEDED. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MAINTENANCE AND REPAIR.
- N. ALL TEMPORARY SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED.
- O. THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED, AS DIRECTED BY THE ENGINEER, OR AUTHORITY HAVING JURISDICTION.

SURVEY NOTES:

EXISTING CONDITIONS BASE SURVEY AND SPOT ELEVATIONS PROVIDED BY JOSEPH A. SCHUDD & ASSOCIATES, 9455 ENTERPRISE DRIVE, MOKENA, ILLINOIS 60448. PHONE 708-720-1000.

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**HOMER COMMUNITY
 CONSOLIDATED SCHOOL
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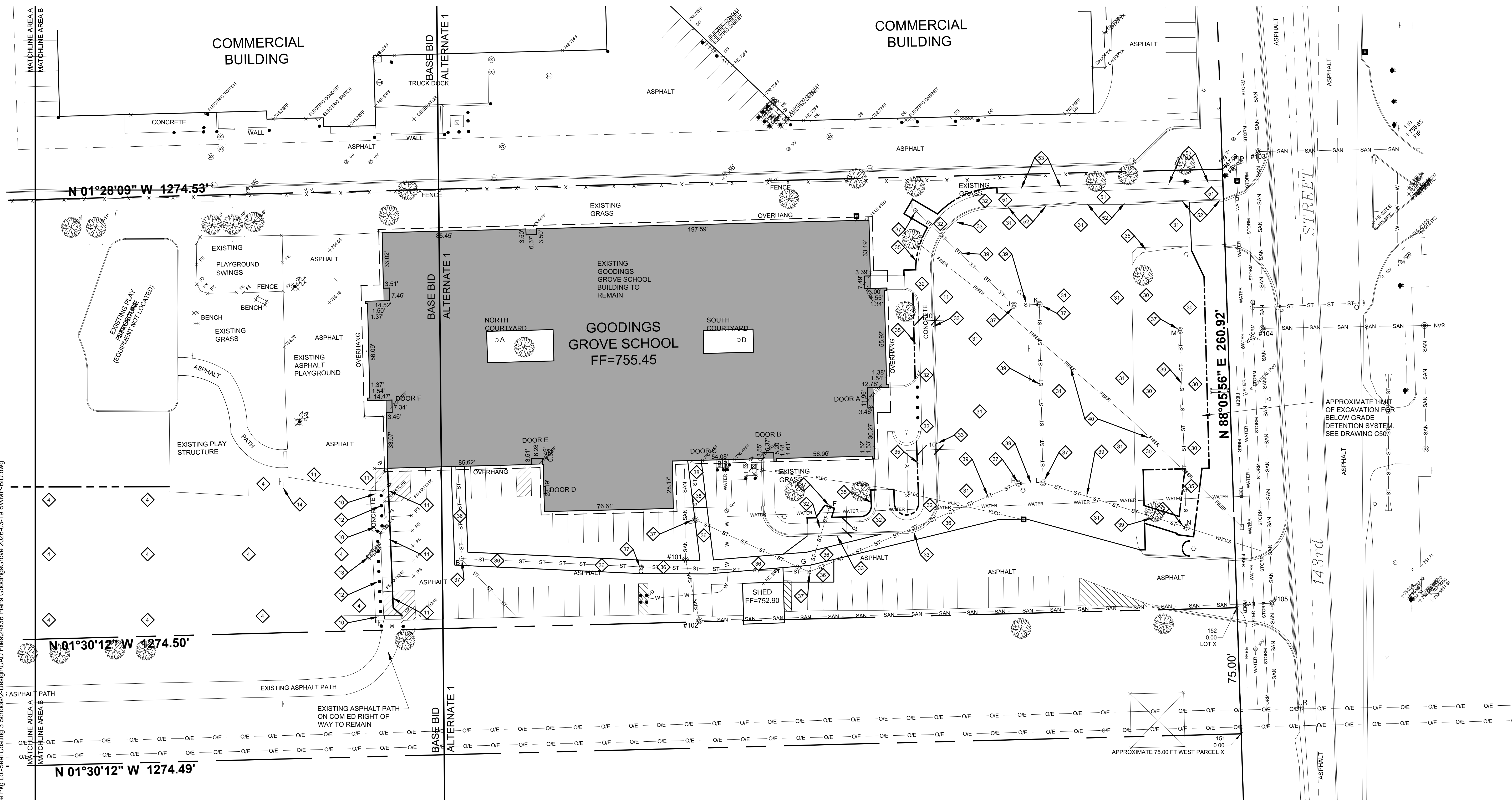
**GOODINGS GROVE
 SCHOOL**

**PARKING LOT EXPANSION
 AND IMPROVEMENTS**

12914 W 143RD STREET
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AREA B
 REMOVAL PLAN

DATE: 03/19/2026
 CLIENT PROJECT No.: -
 INSPEC PROJECT No.: 301918
 PROJECT MGR: DR
 DRAWN BY: TR
 CHECKED BY: DR



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REMOVAL NOTES:

BASE BID:

- 10 REMOVE BASEBALL AND SOFTBALL FIELD INFIELD SKIN/MIX AND SUBSOILS DOWN TO SUBGRADE ELEVATION.
- 11 SAWCUT AND REMOVE ASPHALT PAVEMENT, BASE AGGREGATE, AND SUBSOILS TO NEW SUBGRADE ELEVATIONS.
- 12 REMOVE ENTIRE LINE OF CONCRETE BOLLARDS AND CONCRETE BASES (13 TOTAL). BACKFILL WITH 3/8" TO 3/4" STONE CHIPS (NO FINES).
- 13 REMOVE CONCRETE FOOTING FOR LIGHT POLE. BACKFILL WITH 3/8" TO 3/4" STONE CHIPS (NO FINES). REMOVE OF LIGHT POLE BY OTHERS.
- 14 REMOVE AND REINSTALL SIGN (TWO WOOD POSTS). RELOCATE SIGN TO EAST SIDE OF PATH IN EXISTING GRASS AREA. VERIFY LOCATION WITH OWNER.
- 15 REMOVE TREES, STUMPS, AND SHRUBS BRUSH.
- 16 REMOVE TOPSOIL AND SUBSOILS DOWN TO SUBGRADE ELEVATIONS. EXISTING SUBSOILS TO BE USED AS FILL. IN FILL AREAS, REMOVE TOPSOIL BEFORE PLACING FILL. STOCKPILE EXISTING TOPSOIL FOR REUSE. PULVERIZE AND SCREEN TOPSOIL PRIOR TO REINSTALLATION. REMOVE EXCESS SUBSOILS FROM SITE.
- 17 SAWCUT AND REMOVE ASPHALT PAVEMENT, BASE AGGREGATE, AND SUBSOILS TO NEW SUBGRADE ELEVATIONS.
- 18 SAWCUT AND REMOVE CONCRETE SIDEWALK AND/OR PAVEMENT, BASE AGGREGATE, AND SUBSOILS TO NEW SUBGRADE ELEVATIONS.
- 19 SAWCUT AND REMOVE CONCRETE CURB AND GUTTER, BASE AGGREGATE, AND SUBSOILS TO NEW SUBGRADE ELEVATIONS.
- 20 NOT USED

REMOVAL NOTES:

ALTERNATE 1:

- 21 REMOVE TOPSOIL AND SUBSOILS DOWN TO SUBGRADE ELEVATIONS. EXISTING SUBSOILS MAYBE USED AS FILL. IN FILL AREAS, REMOVE TOPSOIL BEFORE PLACING FILL. STOCKPILE EXISTING TOPSOIL FOR REUSE. PULVERIZE AND SCREEN TOPSOIL PRIOR TO REINSTALLATION. REMOVE EXCESS SUBSOILS FROM SITE IF NECESSARY.
- 22 SAWCUT AND REMOVE ASPHALT PAVEMENT, BASE AGGREGATE, AND SUBSOILS TO NEW SUBGRADE ELEVATIONS.
- 23 SAWCUT AND REMOVE CONCRETE SIDEWALK AND/OR PAVEMENT, BASE AGGREGATE, AND SUBSOILS TO NEW SUBGRADE ELEVATIONS.
- 24 SAWCUT AND REMOVE CONCRETE CURB AND GUTTER, BASE AGGREGATE, AND SUBSOILS TO NEW SUBGRADE ELEVATIONS.
- 25 REMOVE GRASS, TOPSOIL, AND SUBSOILS DOWN TO NEW SUBGRADE ELEVATIONS.
- 26 REMOVE EXISTING ASPHALT PAVEMENT. REMOVE ASPHALT PAVEMENT, BASE AGGREGATE, SUBSOILS, CATCH BASIN, INLET, AND/OR MANHOLE STRUCTURE. BACKFILL WITH COMPACTED CA-6 BASE AGGREGATE. SEE NEW CONDITIONS - STORM SEWER PLAN ON DRAWING C50.
- 27 SAWCUT EXISTING ASPHALT PAVEMENT. REMOVE ASPHALT PAVEMENT, BASE AGGREGATE, SUBSOILS, CATCH BASIN, INLET, AND/OR MANHOLE STRUCTURE. BACKFILL WITH COMPACTED CA-6 BASE AGGREGATE. SEE NEW CONDITIONS - STORM SEWER PLAN ON DRAWING C50.
- 28 REMOVE GRASS, TOPSOIL, AND SUBSOILS DOWN TO NEW SUBGRADE ELEVATIONS.
- 29 REMOVE STORM SEWER PIPE AND BACKFILL WITH COMPACTED CA-6 BASE AGGREGATE
- 30 FIBER OPTIC LINE TO BE PROTECTED AND TEMPORARILY SUPPORTED DURING INSTALLATION OF BELOW GRADE DETENTION CHAMBERS
- 31 SAWCUT AND REMOVE CONCRETE SIDEWALK AND/OR PAVEMENT, BASE AGGREGATE, AND SUBSOILS TO NEW SUBGRADE ELEVATIONS.
- 32 SAWCUT AND REMOVE CONCRETE CURB AND GUTTER, BASE AGGREGATE, AND SUBSOILS TO NEW SUBGRADE ELEVATIONS.
- 33 REMOVE GRASS, TOPSOIL, AND SUBSOILS TO NEW SUBGRADE ELEVATIONS.

REMOVAL NOTES:

ALTERNATE 2:

- 34 SAWCUT AND REMOVE CONCRETE SIDEWALK AND/OR PAVEMENT, BASE AGGREGATE, AND SUBSOILS TO NEW SUBGRADE ELEVATIONS.
- 35 SAWCUT AND REMOVE CONCRETE CURB AND GUTTER, BASE AGGREGATE, AND SUBSOILS TO NEW SUBGRADE ELEVATIONS.
- 36 REMOVE GRASS, TOPSOIL, AND SUBSOILS TO NEW SUBGRADE ELEVATIONS.

NOTES:
 1.) ALL DIMENSIONS ARE BACK OF CURB OR EDGE OF PAVEMENT.
 2.) NEW SPOT ELEVATIONS ARE TOP OF NEW PAVEMENT OR TOP OF NEW SIDEWALK.
 3.) ADJUST ELEVATIONS OF ALL WATER VALVE ACCESS COVERS, MANHOLES, AND INLETS TO BE FLUSH WITH NEW PAVEMENT ELEVATIONS.
 4.) IRRIGATION SYSTEM IS OBSOLETE. DO NOT REPAIR DAMAGED IRRIGATION SYSTEM COMPONENTS.

CAUTION:
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ISSUE LEVEL / REVISION:	DATE:	No.:
98% COMPLETE	04/18/2025	
REVISED LAYOUT	12/03/2025	
VILLAGE OF HOMER GLEN PLAN		
PLAN REVIEW SUBMITTAL	12/15/2025	
SWAMP UPDATE WITH PLAN		
COMMISSION REQUESTED		
BULK REGS AND TREE PRES.	03/12/2026	
BID SET	03/19/2026	

**HOMER COMMUNITY
CONSOLIDATED SCHOOL
DISTRICT 33C**

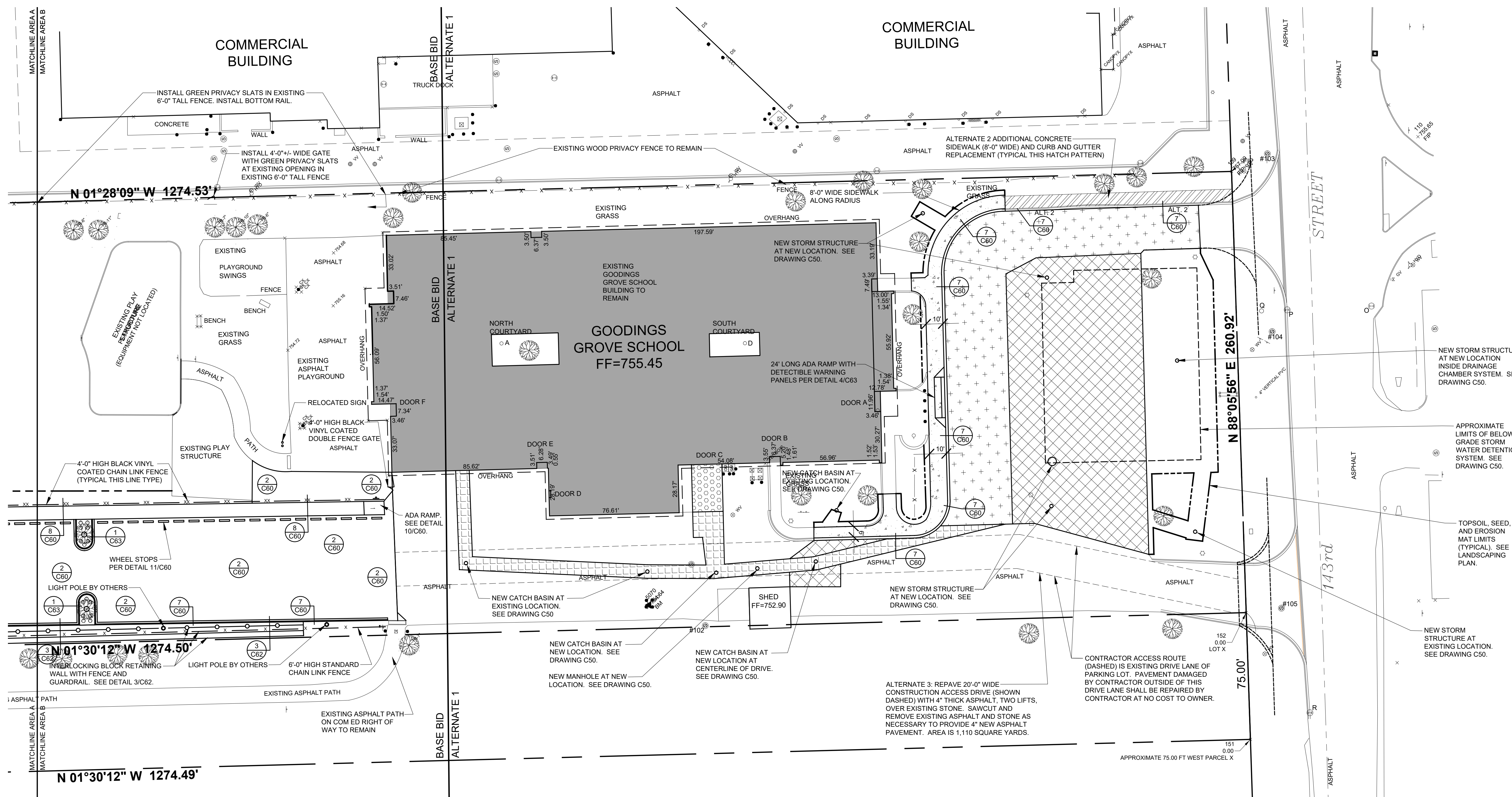
**GOODINGS GROVE
SCHOOL**

**PARKING LOT EXPANSION
AND IMPROVEMENTS**

12914 W 143RD STREET
HOMER GLEN, ILLINOIS 60491

AREA B
NEW CONDITIONS - SITE PLAN

DATE: 03/19/2026
CLIENT PROJECT No.: -
INSPEC PROJECT No.: 301918
PROJECT MGR: DR
DRAWN BY: TR
CHECKED BY: DR

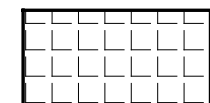
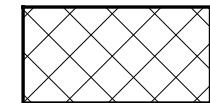
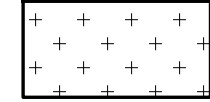

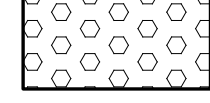



**BASE BID AND ALTERNATE 1, 2, AND 3
AREA B
NEW CONDITIONS - SITE PLAN**

1" = 30'-0"



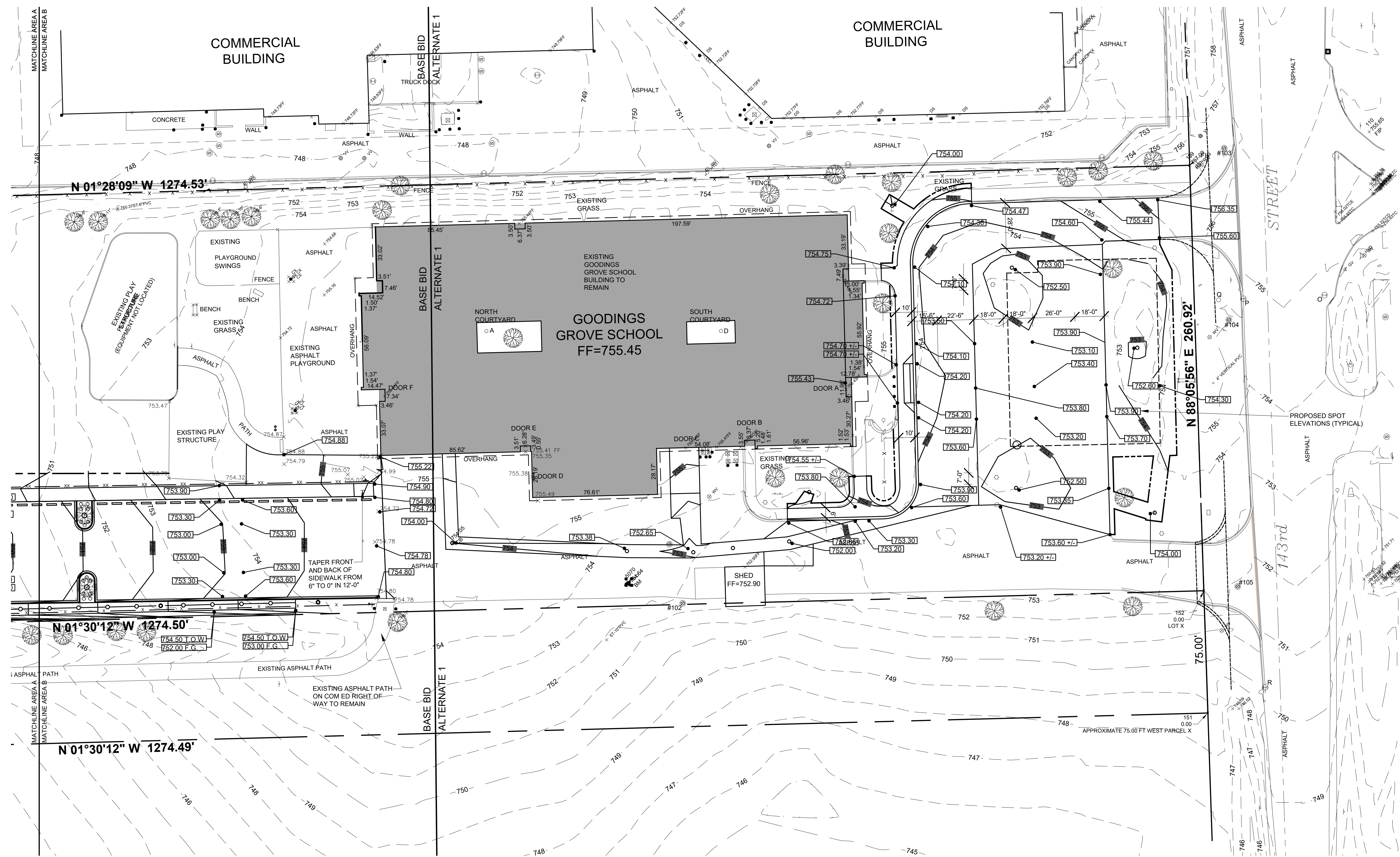
LEGEND FOR ALTERNATES 1 AND 2:

-  ALTERNATE 1
4" ASPHALT OVER CA-6 TRENCH BACKFILL PER
DETAIL 1/C60
-  ALTERNATE 1
4" RECONSTRUCTION (4" NEW ASPHALT, 12" NEW
CA-6 OVER GEOGRID) PER DETAIL 2/C60
-  ALTERNATE 1
5" RECONSTRUCTION (5" NEW ASPHALT, 12" NEW
CA-6 OVER GEOGRID) PER DETAIL 4/C60
-  ALTERNATE 1
CONCRETE SIDEWALK. SEE DETAIL 9/C60.
-  ALTERNATE 1
CONCRETE DUMPSTER PAD REPLACEMENT AT
STORM SEWER TRENCH. SEE DETAIL 5/C60.
-  ALTERNATE 2
CONCRETE. SEE DETAIL 9/C60.

- NOTES:
- 1.) ALL DIMENSIONS ARE BACK OF CURB OR EDGE OF PAVEMENT.
 - 2.) NEW SPOT ELEVATIONS ARE TOP OF NEW PAVEMENT OR TOP OF NEW SIDEWALK.
 - 3.) ADJUST ELEVATIONS OF ALL WATER VALVE ACCESS COVERS, MANHOLES, AND INLETS TO BE FLUSH WITH NEW PAVEMENT ELEVATIONS.
 - 4.) IRRIGATION SYSTEM IS OBSOLETE. DO NOT REPAIR DAMAGED IRRIGATION SYSTEM COMPONENTS.

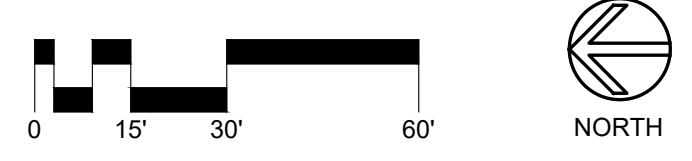
CAUTION:
LOCATIONS OF UTILITIES ARE APPROXIMATE ONLY. CONTACT J.U.L.I.E. AT 1-800-892-0123 AND MARK PRIVATE UTILITIES PRIOR TO DIGGING. KNOWN PUBLIC AND PRIVATE UTILITIES ARE SHOWN ON THE DRAWINGS. CONTRACTOR TO HIRE PRIVATE UTILITY LOCATING FIRM TO MARK LOCATIONS OF PRIVATE UTILITIES (INCLUDING BUT NOT LIMITED TO PRIVATE ELECTRIC, COMMUNICATIONS, STORM SEWER, WATER, SANITARY SEWER, ETC.). ALL DAMAGED UTILITY LINES WILL BE REPAIRED AND PAID FOR BY THE CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR COORDINATION AND CONFLICT RESOLUTION WITH UTILITY OWNER.

SURVEY NOTES:
EXISTING CONDITIONS BASE SURVEY AND SPOT ELEVATIONS PROVIDED BY JOSEPH A. SCHUDT & ASSOCIATES, 9455 ENTERPRISE DRIVE, MOKENA, ILLINOIS 60448. PHONE 708-720-1000.



**BASE BID AND ALTERNATE 1
 AREA B
 NEW CONDITIONS - GRADING PLAN**

1" = 30'-0"



- NOTES:**
- 1.) ALL DIMENSIONS ARE BACK OF CURB OR EDGE OF PAVEMENT.
 - 2.) NEW SPOT ELEVATIONS ARE TOP OF NEW PAVEMENT OR TOP OF NEW SIDEWALK.
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Issues and revisions:

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VILLAGE OF HOMER GLEN PLAN		
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SWMP UPDATE WITH PLAN		
COMMISSION REQUESTED		
BULK REGS AND TREE PRES.	03/12/2026	
BID SET	03/19/2026	

Client:
**HOMER COMMUNITY
 CONSOLIDATED SCHOOL
 DISTRICT 33C**

**GOODINGS GROVE
 SCHOOL**

Project title:
**PARKING LOT EXPANSION
 AND IMPROVEMENTS**

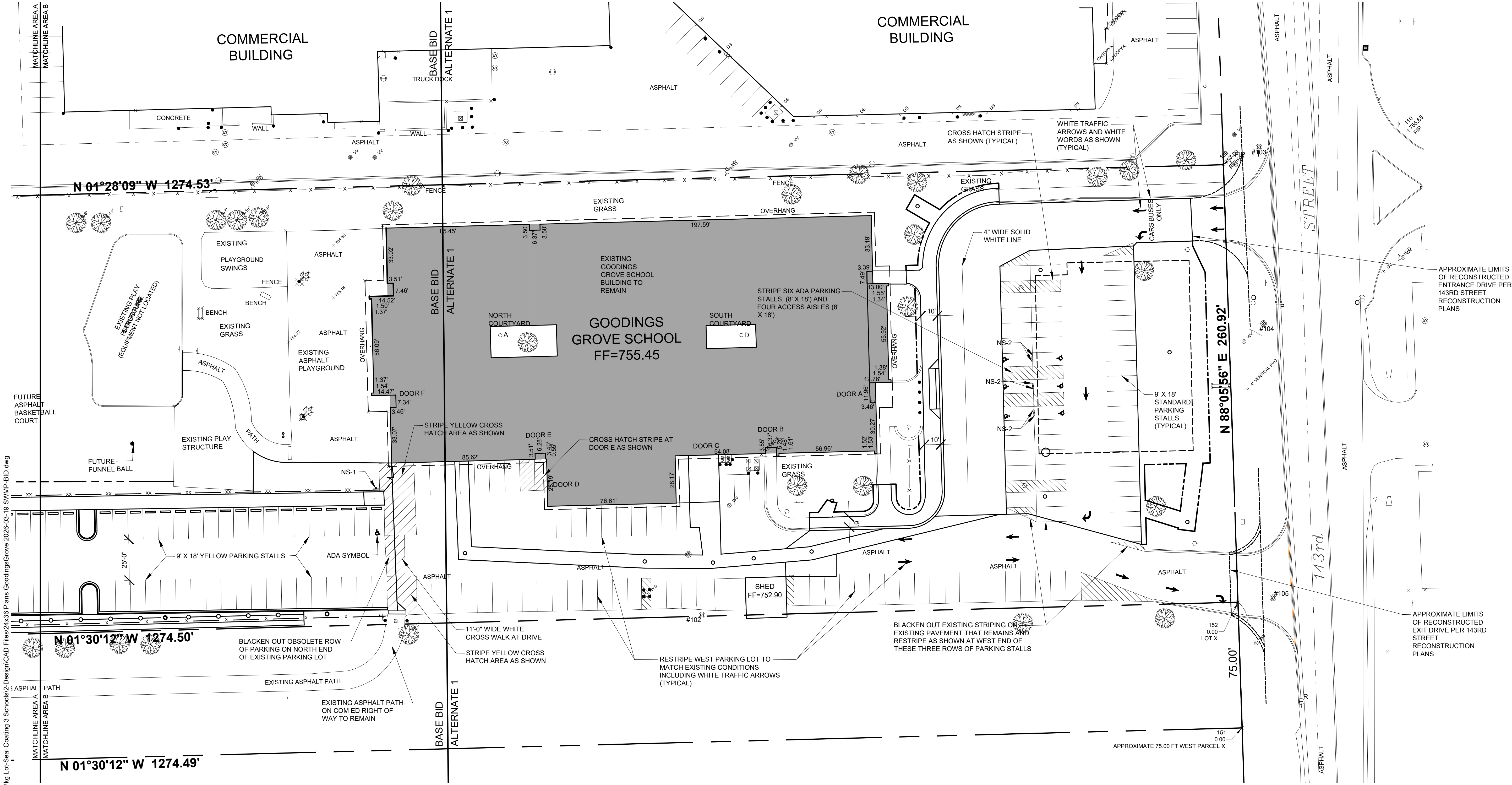
12914 W 143RD STREET
 HOMER GLEN, ILLINOIS 60491

Sheet content:
**AREA B
 NEW CONDITIONS - GRADING PLAN**

DATE: 03/19/2026
 CLIENT PROJECT No.: -
 INSPEC PROJECT No.: 301918
 PROJECT MGR: DR
 DRAWN BY: TR
 CHECKED BY: DR

Sheet No.: **C30**

Consultants:



APPROXIMATE LIMITS OF RECONSTRUCTED ENTRANCE DRIVE PER 143RD STREET RECONSTRUCTION PLANS

APPROXIMATE LIMITS OF RECONSTRUCTED EXIT DRIVE PER 143RD STREET RECONSTRUCTION PLANS

Issues and revisions:

ISSUE LEVEL / REVISION:	DATE:	No.:
98% COMPLETE	04/18/2025	
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VILLAGE OF HOMER GLEN PLAN		
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BULK REGS AND TREE PRES.	03/12/2026	
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Client:
HOMER COMMUNITY CONSOLIDATED SCHOOL DISTRICT 33C

GOODINGS GROVE SCHOOL

Project title:
PARKING LOT EXPANSION AND IMPROVEMENTS

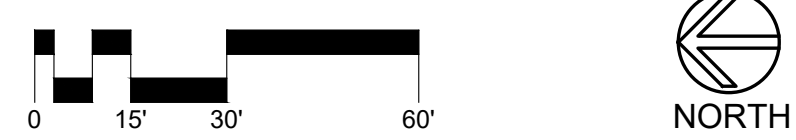
12914 W 143RD STREET
 HOMER GLEN, ILLINOIS 60491

Sheet content:
**AREA B
 NEW CONDITIONS - STRIPING AND SIGNAGE PLAN**

DATE: 03/19/2026
 CLIENT PROJECT No.: -
 INSPEC PROJECT No.: 301918
 PROJECT MGR: DR
 DRAWN BY: TR
 CHECKED BY: DR

Sheet No.:

**BASE AND ALTERNATE 1
 AREA B
 NEW CONDITIONS - STRIPING AND SIGNAGE PLAN**
 1" = 30'-0"



**BASE BID:
 NEW SIGN SCHEDULE:**

NS-1	1 EACH	12" X 18" ILLINOIS STANDARD ADA PARKING SIGN R7-8 WITH 6" X 12" ILLINOIS STANDARD \$350 FINE SIGN R7-1101P ON STEEL POST DRIVEN INTO GROUND. SEE DETAIL 5/C62.
------	--------	--

VERIFY SIGN NUMBERS PRIOR TO ORDERING

**ALTERNATE 1:
 NEW SIGN SCHEDULE:**

NS-2	6 EACH	12" X 18" ILLINOIS STANDARD ADA PARKING SIGN R7-8 WITH 6" X 12" ILLINOIS STANDARD \$350 FINE SIGN R7-1101P ON PORTABLE CONCRETE BASE. SEE DETAIL 5/C62.
------	--------	---

VERIFY SIGN NUMBERS PRIOR TO ORDERING

SURVEY NOTES:
 EXISTING CONDITIONS BASE SURVEY AND SPOT ELEVATIONS PROVIDED BY JOSEPH A. SCHUDT & ASSOCIATES, 9455 ENTERPRISE DRIVE, MOKENA, ILLINOIS 60448. PHONE 708-720-1000.

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ISSUE LEVEL / REVISION:	DATE:	No.:
98% COMPLETE	04/18/2025	
REVISED LAYOUT	12/03/2025	
VILLAGE OF HOMER GLEN PLAN		
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COMMISSION REQUESTED		
BULK REGS AND TREE PRES.	03/12/2026	
BID SET	03/19/2026	

HOMER COMMUNITY
CONSOLIDATED SCHOOL
DISTRICT 33C

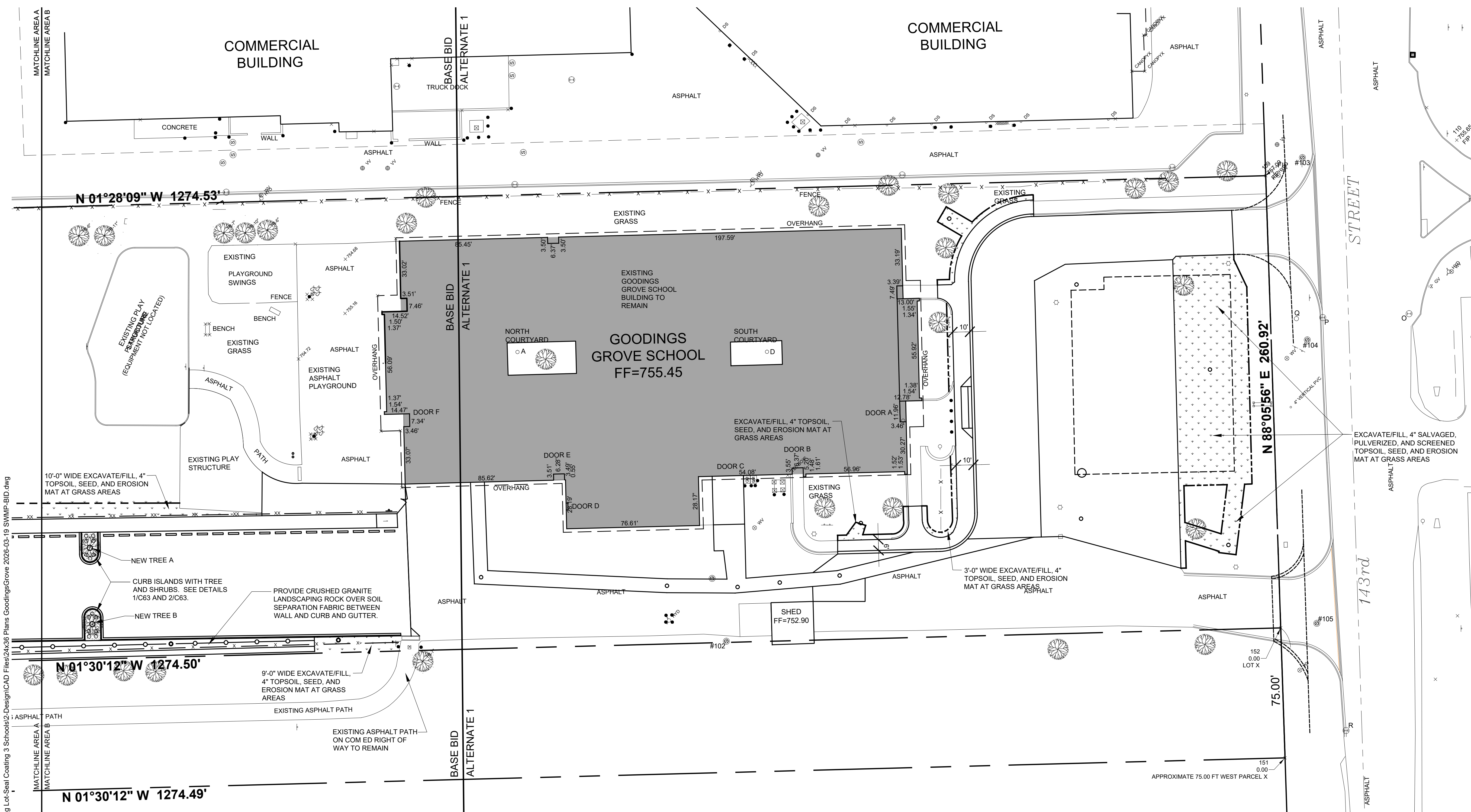
GOODINGS GROVE
SCHOOL

PARKING LOT EXPANSION
AND IMPROVEMENTS

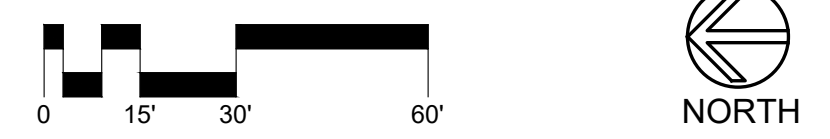
12914 W 143RD STREET
HOMER GLEN, ILLINOIS 60491

AREA B
NEW CONDITIONS - LANDSCAPE PLAN

DATE: 03/19/2026
CLIENT PROJECT No.: -
INSPEC PROJECT No.: 301918
PROJECT MGR: DR
DRAWN BY: TR
CHECKED BY: DR



BASE BID AND ALTERNATE 1
AREA B
NEW CONDITIONS - LANDSCAPE PLAN



BASE BID: NEW TREE SCHEDULE

NEW TREE A	3" CALIPER (MIN.) IMPERIAL HONEY LOCUST TREE
NEW TREE B	3" CALIPER (MIN.) AUTUMN FANTASY FREEMAN MAPLE TREE

BASE BID: NEW PLANTING SCHEDULE

- KALLAY (PFITZER) JUNIPER EVERGREEN SHRUBS, 18"-24" SIZE 14 TOTAL, TYPICAL

BASE BID: LANDSCAPING NOTES:

- LANDSCAPE AREAS AND MULCH AREAS SHALL HAVE 3" THICK, BROWN COLORED MULCH INSTALLED OVER LANDSCAPE FABRIC OVER 4" NEW TOPSOIL.
- AT SHRUB PLANTING LOCATIONS, PROVIDE 12" AREA OF TOPSOIL AROUND ALL SIDES OF ROOT BALL AND 12" THICK MINIMUM BELOW ROOT BALL.
- SEE TREE PLANTING DETAIL ON 2/C63 FOR NEW TREES.
- GRASS RESTORATION AREAS SHALL BE 4" MINIMUM SALVAGED, PULVERIZED, AND SCREENED TOPSOIL, SEED, AND EROSION MAT.
- 2" THICK, CRUSHED GRANITE LANDSCAPE ROCK OVER SOIL SEPARATION FABRIC BETWEEN RETAINING WALL AND CURB AND GUTTER OF NEW PARKING LOT.
- SEED MIXTURE SHALL BE 50% BLUEGRASSES AND 50% PERENNIAL RYE GRASSES. SEE SPECIFICATIONS FOR FURTHER DETAILS.
- EROSION MAT SHALL BE SINGLE NET STRAW BLANKET WITH LIGHTWEIGHT ACCELERATED PHOTODEGRADABLE POLYPROPYLENE NET, STRAW FIBER, AND DEGRADABLE THREAD. MAT SHALL DEGRADE WITHIN 45 TO 60 DAYS.

ALTERNATE 1: LANDSCAPING NOTES:

- GRASS RESTORATION AREAS SHALL BE 4" MINIMUM SALVAGED, PULVERIZED, AND SCREENED TOPSOIL, SEED, AND EROSION MAT.
- SEED MIXTURE SHALL BE 50% BLUEGRASSES AND 50% PERENNIAL RYE GRASSES. SEE SPECIFICATIONS FOR FURTHER DETAILS.
- EROSION MAT SHALL BE SINGLE NET STRAW BLANKET WITH LIGHTWEIGHT ACCELERATED PHOTODEGRADABLE POLYPROPYLENE NET, STRAW FIBER, AND DEGRADABLE THREAD. MAT SHALL DEGRADE WITHIN 45 TO 60 DAYS.

NOTES:
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2.) NEW SPOT ELEVATIONS ARE TOP OF NEW PAVEMENT OR TOP OF NEW SIDEWALK.
3.) ADJUST ELEVATIONS OF ALL WATER VALVE ACCESS COVERS, MANHOLES, AND INLETS TO BE FLUSH WITH NEW PAVEMENT ELEVATIONS.
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SURVEY NOTES:
EXISTING CONDITIONS BASE SURVEY AND SPOT ELEVATIONS PROVIDED BY JOSEPH A. SCHUDT & ASSOCIATES, 9455 ENTERPRISE DRIVE, MOKENA, ILLINOIS 60448. PHONE 708-720-1000.

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Consultants:



03-19-2026



EXP 11-30-2027

Signature:

Issues and revisions:

ISSUE LEVEL / REVISION:	DATE:	No.:
PLAN COMMISSION SUBMITTAL	12/15/2025	
REVISED STORM SEWER PER CLIENT	03/19/2026	
REV PLANS PER VILLAGE ENGR	03-19-2026	
BID SET	03-19-2026	

Client:

**HOMER COMMUNITY
CONSOLIDATED SCHOOL
DISTRICT 33C**

**GOODINGS GROVE
SCHOOL**

Project title:

**PARKING LOT
EXPANSION**

12914 W 143RD STREET
HOMER GLEN, ILLINOIS 60491

Sheet content:

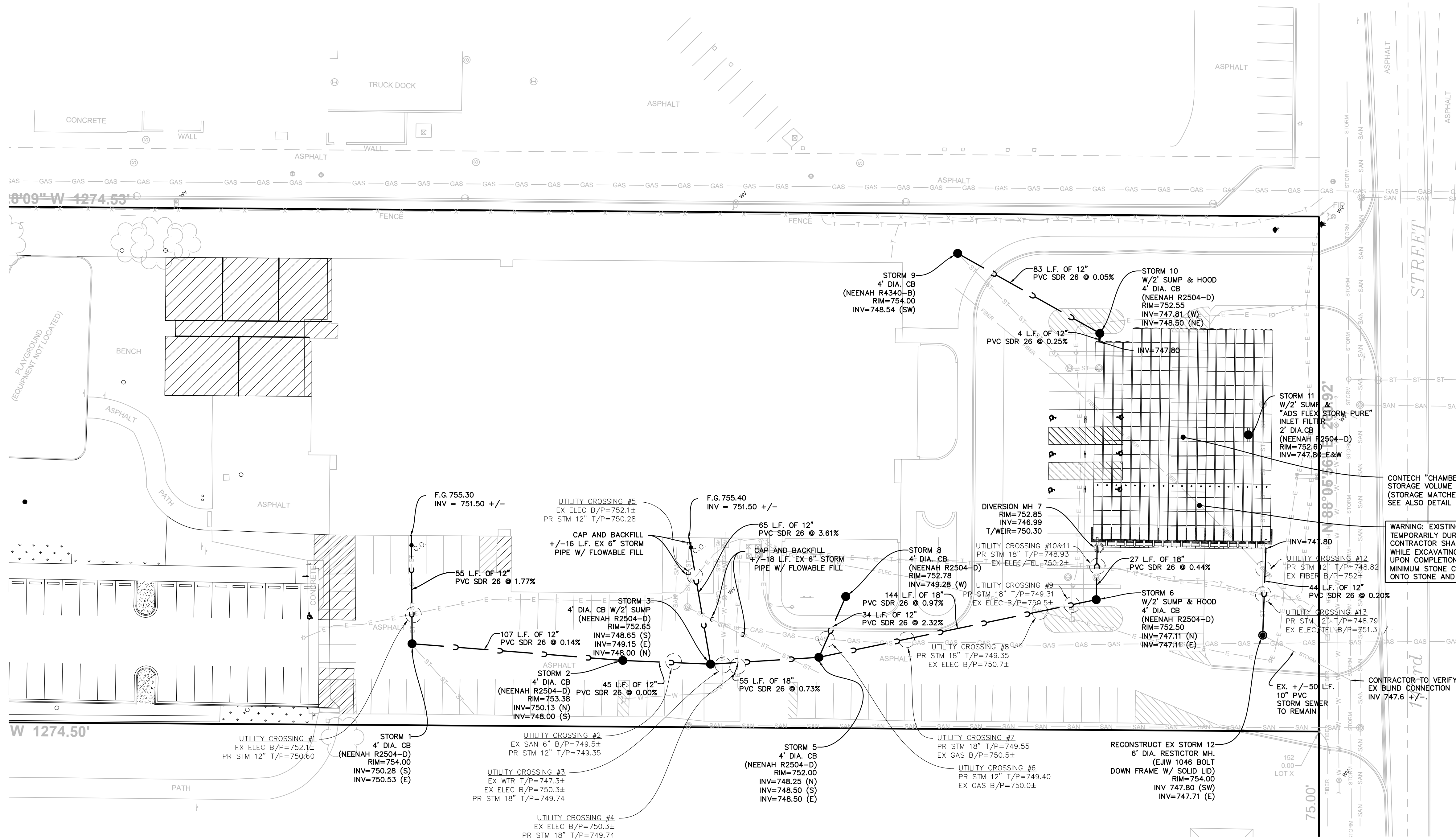
AREA B

NEW CONDITIONS - STORM SEWER PLAN

DATE: 03/19/2026
CLIENT PROJECT No.: -
INSPCC PROJECT No.: 301918
PROJECT MGR: DR
DRAWN BY: MeritCorp Group, LLC
CHECKED BY: DR

Sheet No.:

C50



LEGEND

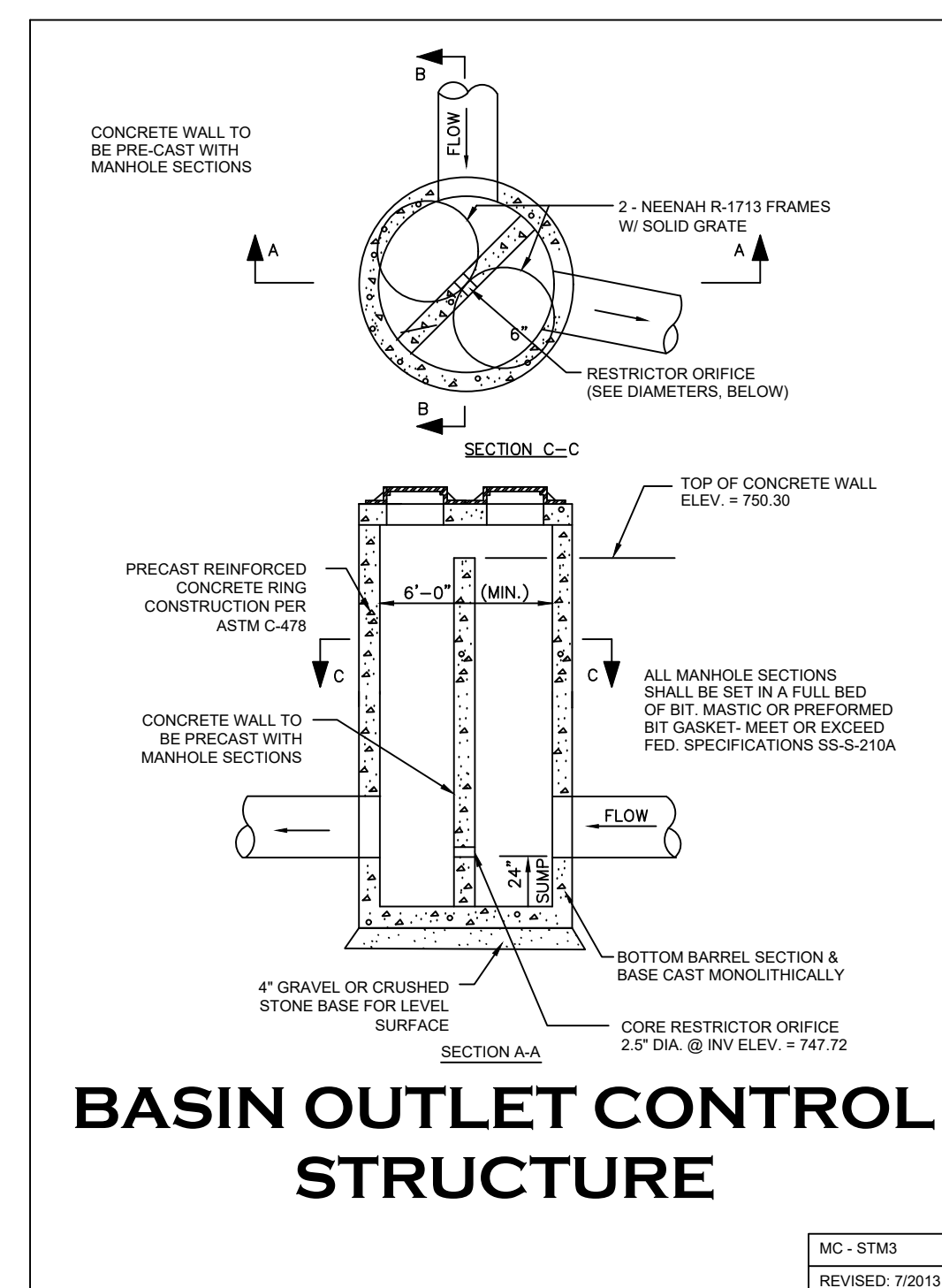
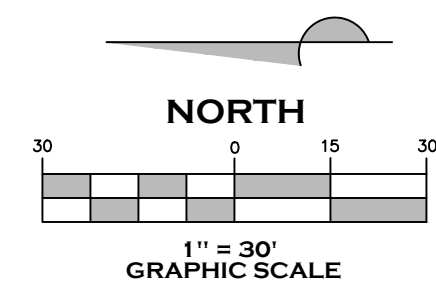


CONTECH "CHAMBERMAXX" INFILTRATION/DETENTION SYSTEM
STORAGE VOLUME 0.50 AC-FT
(STORAGE MATCHES PREVIOUSLY APPROVED VOLUME Circa 1974)
SEE ALSO DETAIL SHEET C51

WARNING: EXISTING FIBER OPTIC CABLE TO BE EXPOSED AND ELEVATED TEMPORARILY DURING CONSTRUCTION OF THE "CHAMBERMAXX" SYSTEM. CONTRACTOR SHALL USE CAUTION AND NOT CAUSE DAMAGE TO FIBER CABLE WHILE EXCAVATING OR INSTALLING THE "CHAMBERMAXX" SYSTEM. UPON COMPLETION OF INSTALLATION OF CHAMBERS AND PLACEMENT OF MINIMUM STONE COVER (TO ELEVATION 751.30), LOWER FIBER OPTIC CABLE ONTO STONE AND PLACE REMAINING BACKFILL AS SPECIFIED ON THIS SHEET, N

CONTRACTOR TO VERIFY EX BLIND CONNECTION INV 747.6 +/-

**AREA B ALTERNATE 1
NEW CONDITIONS - STORM SEWER AND DETENTION FACILITY**



NOTES

- PRIOR TO CONSTRUCTION CONTRACTOR SHALL VERIFY DEPTH OF ALL PROPOSED UTILITY CROSSINGS AND ADVISE ENGINEER OF ANY POTENTIAL CONFLICTS.
- BACKFILL OVER PROPOSED CHAMBERMAXX SYSTEM LOCATED UNDER PAVED SURFACE SHALL BE C&G STONE AS SPECIFIED ON DETAIL ON SHEET C51. BACKFILL OUTSIDE OF PAVED SURFACE AREAS MAY BE ANY SUITABLE NATIVE MATERIAL EXCAVATED AS PART OF THIS PROJECT, UNLESS OTHERWISE DIRECTED BY ENGINEER.
- EXISTING STORM SEWER AND STORM SEWER STRUCTURES ARE TO BE DEMOLISHED AND REMOVED EXCEPT AT LOCATIONS NOTED TO BE CAPPED AND FILLED WITH FLOWABLE FILL.

Consultants:



03-19-2026



EXP 11-30-2027

Signature:

Issues and revisions:

ISSUE LEVEL / REVISION:	DATE:	No.:
PLAN COMMISSION SUBMITTAL	12/15/2025	
REVISED STORM SEWER PER CLIENT	03/19/2026	
REV PLANS PER VILLAGE ENGR	03-19-2026	
BID SET	03-19-2026	

Client:

**HOMER COMMUNITY
CONSOLIDATED SCHOOL
DISTRICT 33C**

**GOODINGS GROVE
SCHOOL**

Project title:

**PARKING LOT
EXPANSION**

12914 W 143RD STREET
HOMER GLEN, ILLINOIS 60491

Sheet content:

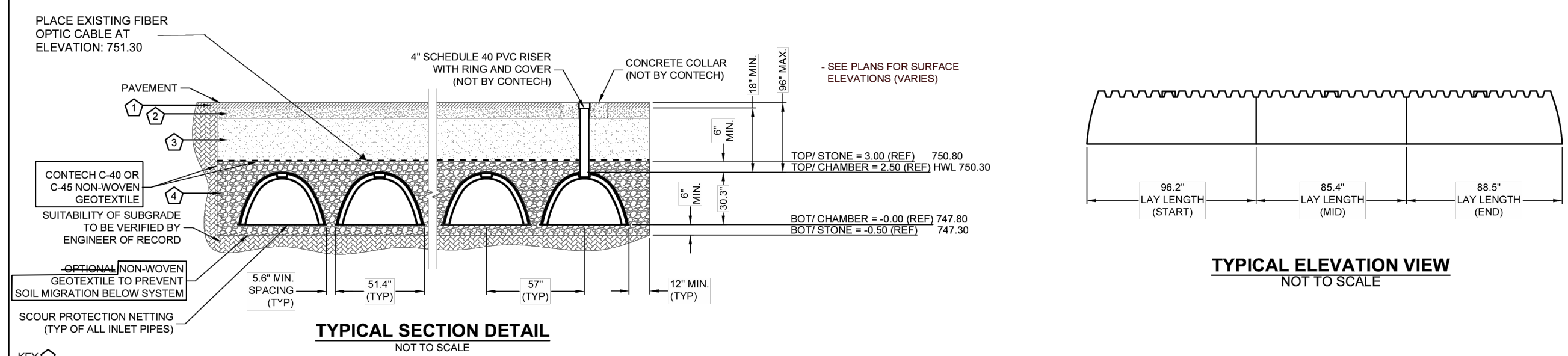
AREA B

NEW CONDITIONS - DETENTION DETAILS

DATE: 03/19/2026
CLIENT PROJECT No.: -
INSPEC PROJECT No.: 301918
PROJECT MGR: DR
DRAWN BY: MeritCorp Group, LLC
CHECKED BY: DR

Sheet No.:

C51



TYPICAL ELEVATION VIEW
NOT TO SCALE

96.2' LAY LENGTH (START) | 85.4' LAY LENGTH (MID) | 88.8' LAY LENGTH (END)

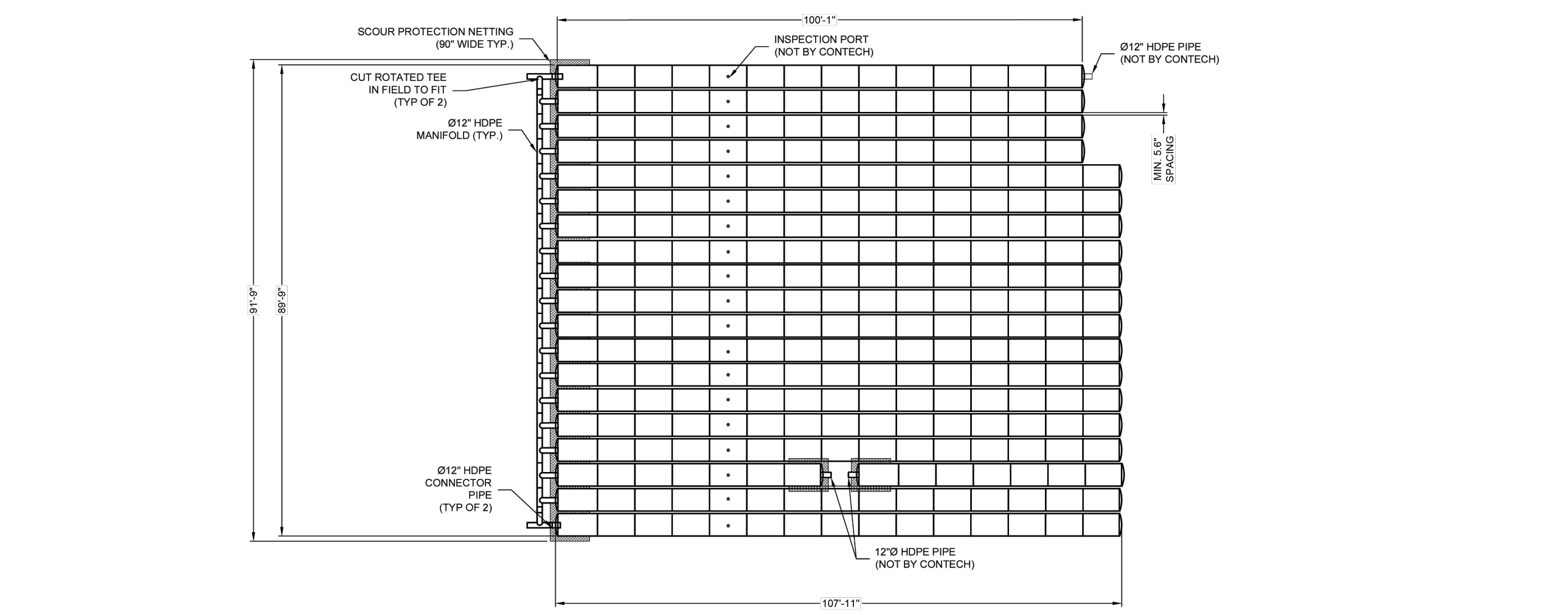
TOPI STONE = 3.00 (REF) 750.80
TOPI CHAMBER = 2.50 (REF) HWL 750.50
BOTI CHAMBER = -0.00 (REF) 747.80
BOTI STONE = -0.50 (REF) 747.30

TYPICAL SECTION DETAIL
NOT TO SCALE

KEY:
1. FLEXIBLE PAVEMENT, (SEE PAVEMENT SPECIFICATION ON INSPEC PLAN SHEET C30).
2. GRANULAR ROAD BASE, (C&G CRUSHED STONE AGGREGATE UNDER ALL PAVED AREAS).
3. ANTI-SUBGRADE-MANING-IN-GENERAL-EMPHASIS, (SEE ENGINEER PLANS SHEET C30 FOR SPECIAL CONSIDERATIONS WHEN INSTALLED UNDER PAVED SURFACES. WHERE GRASS AREAS ARE PROPOSED ABOVE THE SYSTEM, BACKFILL W/ CLAYEY SOIL AND PLACE MIN. 6\"/>

EQUIPMENT USED TO PLACE AND COMPACT THE BACKFILL SHALL BE OF A SIZE AND TYPE SO AS NOT TO DISTORT, DAMAGE, OR DISPLACE THE CHAMBERS. ATTENTION MUST BE GIVEN TO PROVIDING ADEQUATE MINIMUM COVER FOR SUCH EQUIPMENT, AND MAINTAIN BALANCED LOADING ON ALL CHAMBERS IN THE SYSTEM DURING ALL SUCH OPERATIONS.

OTHER ALTERNATE BACKFILL MATERIAL MAY BE ALLOWED DEPENDING ON SITE SPECIFIC CONDITIONS. CONTACT YOUR LOCAL CONTECH REPRESENTATIVE FOR DETAILS.



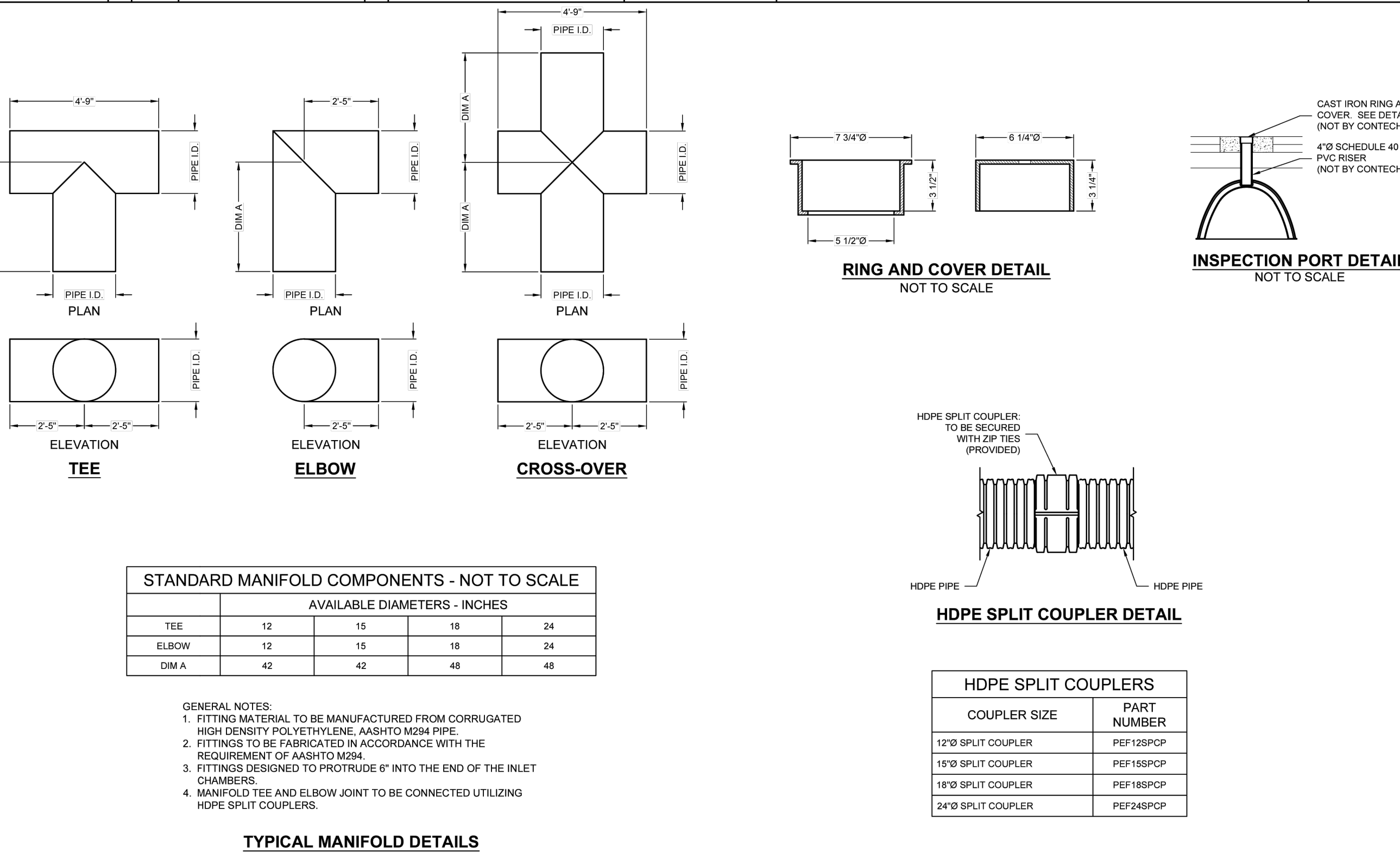
ASSEMBLY
SCALE: 1"=20'
CHAMBER VOLUME: 14,200 CF
STONE VOLUME: 8,259 CF
TOTAL VOLUME: 22,459 CF
LOADING: H20/H25

ITEM NUMBER	ITEM DESCRIPTION	CES PART NUMBER	QTY	UNITS
1	CHAMBERMAXX START CHAMBER	APCM 003.3051.004	19	EA
2	CHAMBERMAXX MIDDLE CHAMBER	APCM 003.3051.005	243	EA
3	CHAMBERMAXX END CHAMBER	APCM 003.3051.006	19	EA
4	CONTECH C-40 NON-WOVEN GEOTEXTILE 15 FT X 360 FT	APCM 001.0015.002	6	ROLL
5	CMX SCOUR NET HP300, 8' WIDE (281' MAX. LENGTH)	APCM 007.0075.002	1 @ 90	QTY @ LF

PROJECT No. 864208 | REV. No. 10 | DATE: 07/29/2025
DESIGNED: CEU | DRAWN: CEU
CHECKED: MSB | APPROVED: CEU
SHEET No. 1 of 4

CONTECH ENGINEERED SOLUTIONS LLC
CHAMBERMaxx[®]
CONTECH PROPOSAL DRAWING

CHAMBERMAXX RETENTION SYSTEM - 864208-10
GOODINGS GROVE SCHOOL
HOMER GLEN, IL
SITE DESIGNATION: EAST SYSTEM



PROJECT No. 864208 | REV. No. 10 | DATE: 07/29/2025
DESIGNED: CEU | DRAWN: CEU
CHECKED: MSB | APPROVED: CEU
SHEET No. 3 of 4

CONTECH ENGINEERED SOLUTIONS LLC
CHAMBERMaxx[®]
CONTECH PROPOSAL DRAWING

CHAMBERMAXX RETENTION SYSTEM - 864208-10
GOODINGS GROVE SCHOOL
HOMER GLEN, IL
SITE DESIGNATION: EAST SYSTEM

CHAMBERMAXX DESIGN DETAILS

FEATURE	START CHAMBER	MIDDLE CHAMBER	END CHAMBER
OVERALL CHAMBER HEIGHT - IN	30.3	30.3	30.3
OVERALL CHAMBER WIDTH - IN	51.4	51.4	51.4
ACTUAL LENGTH - IN	98.4	91.0	92.0
INSTALLED LAY LENGTHS - IN	96.2	85.4	88.5
CHAMBER STORAGE VOLUME - CF	50.2	47.2	46.2
CHAMBER STORAGE PER LINEAR FOOT - CF/LF	6.3	6.6	6.3
MIN. INSTALLED CHAMBER VOLUME - CF	78.1	75.1	74.1
MIN. INSTALLED CHAMBER VOLUME PER LINEAR FOOT - CF/LF	9.7	10.6	10.0
CHAMBER WEIGHT - LB	83	73	76

GENERAL NOTES

- ALL ELEVATIONS, DIMENSIONS AND LOCATIONS OF RISERS AND INLETS SHALL BE VERIFIED BY THE ENGINEER OF RECORD.
- PRIOR TO INSTALLATION OF THE CHAMBERMAXX SYSTEM A PRE-CONSTRUCTION MEETING SHALL BE CONDUCTED. THOSE REQUIRED TO ATTEND ARE THE SUPPLIER OF THE SYSTEM, THE GENERAL CONTRACTOR, SUB-CONTRACTORS AND THE ENGINEER.
- CHAMBERMAXX CHAMBERS ARE MANUFACTURED FROM POLYPROPYLENE PLASTIC.
- CHAMBERMAXX SYSTEM TO MEET AASHTO H20S20 LIVE LOADING, PER AASHTO LRFD SECTION 12.
- ACCESS COVERS TO MEET AASHTO H20S20 LIVE LOADING.
- MINIMUM COVER IS 18 INCHES TO BOTTOM OF FLEXIBLE PAVEMENT OR TOP OF RIGID PAVEMENT. FOR COVER HEIGHTS GREATER THAN 98 INCHES CONTACT YOUR LOCAL REPRESENTATIVE.
- ALL PARTS PROVIDED BY CONTECH UNLESS OTHERWISE NOTED.
- FOR INFORMATION ON PRE-TREATMENT SYSTEMS, REFERENCE CONTECH PRE-TREATMENT SYSTEM STANDARD DETAILS OR CONTACT YOUR LOCAL REPRESENTATIVE.
- CHAMBERMAXX BY CONTECH ENGINEERED SOLUTIONS (800) 925-5240

INSTALLATION NOTES

- CHAMBERMAXX INSTALLATION GUIDE TO BE REVIEWED BY CONTRACTOR PRIOR TO INSTALLATION.
- PRIOR TO PLACING BEDDING, THE FOUNDATION MUST BE CONSTRUCTED TO A UNIFORM AND STABLE GRADE. IN THE EVENT THAT UNSUITABLE FOUNDATION MATERIALS ARE ENCOUNTERED DURING EXCAVATION, UNSUITABLE MATERIAL SHALL BE REMOVED AND BROUGHT BACK TO GRADE WITH FILL MATERIAL AS APPROVED BY THE ENGINEER OF RECORD. ONCE THE FOUNDATION PREPARATION IS COMPLETE, THE BEDDING MATERIAL CAN BE PLACED.
- THE SCOUR PROTECTION NETTING TO EXTEND 1'-0" BEYOND OUTSIDE EDGE OF INLET CHAMBERS.
- COVER ANY OPEN VOID SPACES GREATER THAN 3/4" ON CHAMBERS WITH A NON-WOVEN GEOTEXTILE TO PREVENT INFILTRATION OF BACKFILL MATERIAL.
- STONE EMBEDMENT MATERIAL SHALL BE INSTALLED TO 85% STANDARD PROCTOR DENSITY AND PLACED IN 6-INCH TO 8-INCH LIFTS SUCH THAT THERE IS NO MORE THAN A TWO-LIFT DIFFERENTIAL BETWEEN ANY OF THE CHAMBERS AT ANY TIME. GRANULAR BACKFILL MATERIAL SHALL BE COMPACTED TO 90% SPO. BACKFILLING SHALL BE ADVANCED ALONG THE LENGTH OF THE CHAMBER ROWS AT THE SAME RATE TO AVOID DIFFERENTIAL LOADING AND DISPLACEMENT OF THE CHAMBERS. THE MINIMUM CHAMBER SPACING MUST BE MAINTAINED.
- REFER TO CHAMBERMAXX INSTALLATION GUIDE FOR TEMPORARY CONSTRUCTION LOADING GUIDELINES.
- IT IS ALWAYS THE CONTRACTOR'S RESPONSIBILITY TO FOLLOW OSHA GUIDELINES FOR SAFE PRACTICES.
- GENERAL INSTALLATION METHODS AND MATERIALS TO BE IN ACCORDANCE WITH ASTM D2221.
- ANTI-FLOTATION PROVISIONS DUE TO HIGH GROUNDWATER OR OTHER FLOTATION CONCERNS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER ON RECORD.

GENERAL SITE IMPROVEMENTS

1. COPIES OF THE REFERENCED STANDARD SPECIFICATIONS, CONSTRUCTION PLANS AND DETAILS ARE ALL TO BE CONSIDERED AS PART OF THE CONTRACT. INCIDENTAL ITEMS OR ACCESSORIES NECESSARY TO COMPLETE THIS WORK MAY NOT BE SPECIFICALLY NOTED BUT ARE CONSIDERED A PART OF THIS CONTRACT.
2. THE GENERAL PROVISIONS OF THE CONTRACT, INCLUDING GENERAL AND SUPPLEMENTARY CONDITIONS AND GENERAL REQUIREMENTS (IF ANY) APPLY TO THE WORK SPECIFIED IN THE PLANS.
3. EASEMENTS FOR EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC RIGHTS-OF-WAY ARE SHOWN ON THE PLANS ACCORDING TO INFORMATION AVAILABLE IN THE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF THESE UTILITY LINES IN THE FIELD AND FOR THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNTERED WHICH CONFLICT IN LOCATION WITH NEW CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DEVELOPER'S REPRESENTATIVE SO THE CONFLICT MAY BE RESOLVED. THE CONTRACTOR SHALL CALL 811 OR J.U.L.I.E. (800-892-0123) PRIOR TO CONSTRUCTION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL PRIVATE AND PUBLIC UTILITIES EVEN THOUGH THEY MAY NOT BE SHOWN IN THE PLANS. ANY UTILITY THAT IS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS OWN EXPENSE, TO THE SATISFACTION OF THE UTILITY OWNER.
5. RELOCATING UTILITIES SHALL BE THE RESPONSIBILITY OF THE UTILITY OWNERS EXCEPT WHEN NOTED IN THE PLANS. THE CONTRACTOR SHALL COORDINATE WITH THESE OWNERS WHEN MOVING IS NECESSARY.
6. EXPENSE IN CONNECTING PROPOSED UTILITIES TO EXISTING UTILITIES SHALL BE INCIDENTAL TO THE CONTRACT.
7. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY OWNERS. THE CONTRACTOR SHALL NOTIFY ALL UTILITY OWNERS PRIOR TO CONSTRUCTION.
8. ALL UTILITY WORK WHERE THE INNER EDGE OF THE TRENCH IS WITHIN 2 FEET OF ANY EDGE OF PAVEMENT, CURB, GUTTER, CURB AND GUTTER, STABILIZED SHOULDER OR SIDEWALK SHALL RECEIVE TRENCH BACKFILL. TRENCH BACKFILL SHALL BE INSTALLED PER LOCAL MUNICIPAL REQUIREMENTS OR AT A MINIMUM FOLLOW IDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SECTION 208 FOR TRENCH BACKFILL.
9. ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE CONNECTED TO THE PROPOSED STORM SEWER SYSTEM OR EXTENDED TO OUTLET INTO A PROPOSED DRAINAGE SWALE. IF THIS CANNOT BE ACCOMPLISHED, THEN IT SHALL BE REPAIRED WITH NEW PIPE OF SIMILAR SIZE AND MATERIAL TO THE ORIGINAL LINE AND PUT IN ACCEPTABLE OPERATING CONDITION. A RECORD OF THE LOCATION OF ALL FIELD TILE OR DRAIN PIPE ENCOUNTERED SHALL BE KEPT BY THE CONTRACTOR AND SUBMITTED TO THE MUNICIPALITY UPON COMPLETION OF THE PROJECT.
10. WHENEVER ANY LOOSE MATERIAL IS DISPOSED IN THE FLOW LINE OF GUTTERS, DRAINAGE STRUCTURES OR DITCHES SUCH THAT THE NATURAL FLOW LINE OF WATER IS OBSTRUCTED, THE LOOSE MATERIAL SHALL BE REMOVED AT THE CLOSE OF EACH WORKING DAY. AT THE CONCLUSION OF CONSTRUCTION OPERATIONS, ALL DRAINAGE STRUCTURES AND FLOW LINES SHALL BE FREE FROM DIRT AND DEBRIS. THIS WORK SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
11. REMOVED DRIVEWAY PAVEMENT, SIDEWALK AND CURBS AND CURB AND GUTTER SHALL BE DISPOSED OF OFF-SITE AT LOCATIONS PROVIDED BY THE CONTRACTOR AT HIS OWN EXPENSE.
12. BEFORE ACCEPTANCE BY THE OWNER AND/OR THE MUNICIPALITIES AND FINAL PAYMENT, ALL WORK SHALL BE INSPECTED AND APPROVED BY THE MUNICIPALITIES AND THE OWNER OR THEIR REPRESENTATIVES. FINAL PAYMENT WILL BE MADE AFTER ALL OF THE CONTRACTOR'S WORK HAS BEEN APPROVED AND ACCEPTED. THE CONTRACTOR SHALL GUARANTEE HIS WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE AND SHALL BE HELD RESPONSIBLE FOR ANY DEFECTS IN MATERIAL OR WORKMANSHIP OF THIS WORK DURING THAT PERIOD.
13. TRAFFIC CONTROL DEVICES IN CONFORMANCE WITH I.D.O.T. STANDARDS SHALL BE INSTALLED AND PROVIDED WHENEVER CONSTRUCTION FOR UTILITIES IS WITHIN A PUBLIC RIGHT OF WAY AREA. ORDINANCES OF THE MUNICIPALITY MAY ALSO GOVERN TRAFFIC CONTROL. THE COST OF PROVIDING, INSTALLING AND MAINTAINING NECESSARY TRAFFIC CONTROL DEVICES SHALL BE INCIDENTAL TO THE CONTRACT.
14. ALL PROPOSED ELEVATIONS SHOWN ON PLANS ARE FINISHED SURFACE ELEVATIONS UNLESS OTHERWISE SPECIFIED.
15. UPON AWARDING OF THE CONTRACT AND WHEN REQUIRED BY THE MUNICIPALITY, THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIAL AND PERFORMANCE BOND IN THE AMOUNT REQUIRED BY THE MUNICIPALITY TO GUARANTEE COMPLETION OF THE WORK. THE UNDERWRITER SHALL BE ACCEPTABLE TO THE MUNICIPALITY. THE CONTRACTOR SHALL NOT COMMENCE WORK UNTIL ALL REQUIRED INSURANCE IS OBTAINED AND ACCEPTED.
16. ALL PERMITS, BONDS AND EVIDENCE OF INSURANCE AS REQUIRED BY UTILITY COMPANIES AND THE MUNICIPALITY SHALL BE OBTAINED BY THE CONTRACTOR AND THE COST OF THESE PERMITS AND BONDS SHALL BE BORNE BY THE CONTRACTOR AND SHALL BE INCIDENTAL TO THE CONTRACT.
17. THE CONTRACTOR SHALL COLLECT AND REMOVE ALL CONSTRUCTION DEBRIS, EXCESS MATERIALS, TRASH, OIL AND GREASE RESIDUE, MACHINERY, TOOLS AND OTHER MISCELLANEOUS ITEMS WHICH ARE PRESENT UPON COMPLETION OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ANY AND ALL PERMITS NECESSARY FOR THE HAULING AND DISPOSAL REQUIRED FOR CLEAN-UP AS DIRECTED BY THE MUNICIPALITY OR OWNER. BURNING ON THE SITE IS NOT PERMITTED.
18. NO CONSTRUCTION PLAN SHALL BE USED FOR CONSTRUCTION UNLESS SPECIFICALLY MARKED FOR CONSTRUCTION. PRIOR TO COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AFFECTING THE WORK WITH THE ACTUAL CONDITIONS AT THE JOB SITE. IN ADDITION, THE CONTRACTOR MUST VERIFY ALL LINE AND GRADE STAKES PROVIDED BY THE OWNER. IF THERE ARE ANY DISCREPANCIES WITH WHAT IS SHOWN ON THE CONSTRUCTION PLANS, CONTRACTOR MUST IMMEDIATELY REPORT TO THE OWNER BEFORE DOING ANY WORK OR ASSUME FULL RESPONSIBILITY. IN THE EVENT OF DISAGREEMENT BETWEEN THE CONSTRUCTION PLANS, SPECIFICATIONS AND/OR SPECIAL DETAILS, THE CONTRACTOR SHALL SECURE WRITTEN INSTRUCTION FROM THE OWNER PRIOR TO PROCEEDING WITH ANY PART OF THE WORK AFFECTED BY OMISSIONS OR DISCREPANCIES. FAILING TO SECURE SUCH INSTRUCTION, THE CONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT HIS OWN RISK AND EXPENSE. IN THE EVENT OF ANY DOUBT OR QUESTIONS ARISING WITH RESPECT TO THE TRUE MEANING OF THE CONSTRUCTION PLANS OR SPECIFICATIONS, THE DECISION OF THE OWNER SHALL BE FINAL.
19. NOTIFICATION OF COMMENCING CONSTRUCTION: A. THE CONTRACTOR SHALL NOTIFY THE OWNER AND/OR HIS REPRESENTATIVE AND THE AFFECTED GOVERNMENTAL AGENCIES IN WRITING AT LEAST THREE FULL WORKING DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION. IN ADDITION, THE CONTRACTOR SHALL NOTIFY, AS NECESSARY, ALL TESTING AGENCIES. B. FAILURE OF CONTRACTOR TO ALLOW PROPER NOTIFICATION TIME WHICH RESULTS IN TESTING COMPANIES TO BE UNABLE TO VISIT SITE AND PERFORM TESTING WILL CAUSE CONTRACTOR TO SUSPEND OPERATION (PERTAINING TO TESTING) UNTIL TESTING AGENCY CAN SCHEDULE TESTING OPERATIONS. THE COST OF SUSPENSION OF WORK SHALL BE BORNE BY THE CONTRACTOR.
20. ALL CONTRACTORS SHALL KEEP ACCESS AVAILABLE AT ALL TIMES FOR EMPLOYEES AND EMERGENCY VEHICLES. AT NO TIME SHALL ACCESS BE DENIED TO EMPLOYEES OF THE SITE.
21. THE CONTRACTOR SHALL PROVIDE ELECTRONIC COPIES AND 2 SETS OF COPIES OF "RECORD" DRAWINGS TO THE MUNICIPALITIES AND OWNER PRIOR TO ANY REQUEST FOR FINAL INSPECTION. SAID PLANS SHALL INDICATE THE FINAL LOCATIONS AND LAYOUT OF ALL IMPROVEMENTS AND SHALL INCLUDE VERIFICATION OF ALL BUILDING PADS, INVERTS, RIMS AND SPOT GRADE ELEVATIONS AND INCORPORATE ALL FIELD DESIGN CHANGES APPROVED BY THE MUNICIPALITY. M/LAR DRAWINGS SHALL BE PROVIDED WHEN THE COPIES ARE APPROVED BY THE MUNICIPALITY.
22. THE CONTRACTOR SHALL VIDEO RECORD THE WORK AREA PRIOR TO CONSTRUCTION FOR THE PURPOSE OF DOCUMENTING EXISTING CONDITIONS.
23. ALL IMPROVEMENTS SHOWN ON THE PLANS ARE THE RESPONSIBILITY OF THE CONTRACTOR.

DEMOLITION

1. THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL WASTE MATERIAL IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES INCLUDING, BUT NOT LIMITED TO, STRUCTURES, FOUNDATIONS, CONCRETE, ASPHALT, STEEL, UTILITIES, DRAINAGE STRUCTURES, ETC.
2. CONTRACTOR TO DEMOLISH THE SITE SUCH THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS CAN BE CONSTRUCTED.
3. ALL UNSUITABLE MATERIAL THAT WOULD CONFLICT WITH THE PROPER CONSTRUCTION OF THE PROPOSED IMPROVEMENTS SHALL BE REMOVED.
4. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS FROM ALL GOVERNING AGENCIES PRIOR TO THE START OF SITE DEMOLITION.
5. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THAT ALL EXISTING UTILITY SERVICES ARE DISCONNECTED OR PROTECTED PRIOR TO THE START OF DEMOLITION OF THE SITE.
6. THE CONTRACTOR SHALL COORDINATE WITH THE RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES ASSOCIATED WITH UTILITY COORDINATION.
7. THE EXISTING UTILITIES SHOWN ON THE PLANS HAVE BEEN LOCATED BASED ON THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY.
8. PRIOR TO THE START OF ANY SITE DEMOLITION, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES.
9. ALL UTILITIES THAT ARE REQUIRED TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO THE START OF DEMOLITION.
10. CONTRACTOR MUST PROVIDE A BARRIER FROM PUBLIC ACCESS TO THE SITE PRIOR TO THE START OF DEMOLITION ACTIVITY AND UNTIL SITE DEMOLITION HAS BEEN COMPLETED.
11. SITE DEMOLITION SHALL NOT CONFLICT WITH ACCESS TO ADJACENT SITES OR TRAFFIC AND PEDESTRIAN FLOW IN ADJACENT PUBLIC R.O.W.'S.
12. ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED PRIOR TO THE START OF DEMOLITION ACTIVITY.
13. ANY IMPROVEMENTS, STRUCTURES, PAVEMENTS UTILITIES OR PROPERTY, EITHER ON-SITE OR OFF-SITE, THAT BECOMES DAMAGED DURING SITE DEMOLITION SHALL BE REPLACED BACK TO ITS ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
14. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.

EARTHWORK

1. ALL SITE WORK, GRADING AND EMBANKMENT CONSTRUCTION WITHIN THE LIMITS OF THIS PROJECT SHALL BE DONE IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS" (STANDARD SPECIFICATIONS), THE MOST RECENT EDITION.
2. EARTH EXCAVATION SHALL INCLUDE CLEARING, STRIPPING AND STOCKPILING TOPSOIL, REMOVING UNSUITABLE MATERIALS, THE CONSTRUCTION OF EMBANKMENTS, NON-STRUCTURAL FILLS, FINAL SHAPING AND TRIMMING TO THE LINES, GRADES AND CROSS-SECTIONS SHOWN ON THE PLANS. THIS WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE PROVISIONS OF SECTION 200 OF THE STANDARD SPECIFICATIONS. ALL UNSUITABLE OR EXCESS MATERIAL SHALL BE DISPOSED OF BY THE CONTRACTOR.
3. TOPSOIL EXCAVATED SHALL BE STOCKPILED ON THE SITE OR IN AREAS DESIGNATED BY THE OWNER UNTIL SUCH TIME THAT THIS TOPSOIL CAN BE USED FOR FINAL GRADING.
4. THE CONTRACTOR IS REFERRED TO SOILS INVESTIGATION REPORT FOR THE SITE AND ALL ADDENDA THERETO, SHOWING THE RESULTS OF SUBSURFACE INVESTIGATION MADE ON THIS SITE. COPIES OF SAID SOILS REPORTS ARE ON FILE WITH THE OWNER AND ARE AVAILABLE FOR INSPECTION. THE RECOMMENDATIONS OF SOIL INVESTIGATIONS AS STATED IN SAID REPORT ARE HEREBY INCORPORATED INTO THESE CONSTRUCTION NOTES BY REFERENCE AND SHALL BE FOLLOWED BY THE CONTRACTORS. THE GRADING OPERATIONS ARE TO BE CLOSELY SUPERVISED AND INSPECTED, PARTICULARLY DURING THE REMOVAL OF UNSUITABLE MATERIAL AND THE CONSTRUCTION OF EMBANKMENTS, BY THE SOILS ENGINEER OR HIS REPRESENTATIVE.
5. THE GRADING AND CONSTRUCTION OF THE IMPROVEMENTS SHALL NOT CAUSE PONDING OF STORM WATER. ALL AREAS ADJACENT TO THESE IMPROVEMENTS SHALL BE GRADED TO ALLOW POSITIVE DRAINAGE.
6. ALL TESTING, INSPECTION AND SUPERVISION OF SOILS QUALITY, UNSUITABLE REMOVAL AND ITS REPLACEMENT AND OTHER SOILS RELATED OPERATIONS SHALL BE ENTIRELY THE RESPONSIBILITY OF THE SOILS ENGINEER AND THE OWNER.
7. THE PROPOSED GRADING ELEVATIONS SHOWN ON THE PLANS ARE FINISH GRADE. A MINIMUM OF SIX (6) INCHES OF TOPSOIL IS TO BE PLACED IN OPEN AREAS BEFORE FINISH GRADE ELEVATIONS ARE ACHIEVED.
8. THE CONTRACTOR WILL USE CARE WHEN GRADING NEAR TREES, SHRUBS AND BUSHES WHICH ARE NOT TO BE REMOVED SO AS NOT TO CAUSE INJURY TO ROOTS OR TRUNKS. SHOULD THE EXISTING BECOME DAMAGE OR DIE, CONTRACTOR SHALL REPLACE IN KIND AT THE CONTRACTOR'S OWN EXPENSE AND SHALL BE INCIDENTAL TO THE CONTRACT. SEE LANDSCAPE PLANS FOR TREES THAT ARE NOT TO BE REMOVED.
9. THE CONTRACTOR SHALL USE CARE IN GRADING OR EXCAVATING NEAR ANY AND ALL EXISTING ITEMS WHICH ARE NOT INDICATED TO BE REMOVED. ANY DAMAGE DONE TO THESE EXISTING ITEMS BY CONTRACTOR'S OPERATIONS SHALL BE REPAIRED BY HIM AT HIS OWN EXPENSE.
10. UNSUITABLE MATERIAL ENCOUNTERED IN EXCAVATING FOR PAVEMENT SUBGRADES SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL TO THE LIMITS APPROVED BY THE OWNER. UNSUITABLE MATERIAL THAT IS EXCAVATED, AS DIRECTED BY THE SOILS ENGINEER AND OWNER, SHALL BE DISPOSED OF AT THE CONTRACTOR'S OWN EXPENSE AND SHALL BE INCIDENTAL TO THE CONTRACT.
11. THE EARTHWORK CONTRACTOR SHALL BE RESPONSIBLE FOR BACKFILLING OF ALL CURBS, AS SOON AS THE CONCRETE HAS SET SUFFICIENTLY, TO THE REQUIRED ELEVATION WITH SUITABLE MATERIAL WHICH SHALL BE COMPACTED UNTIL FIRM AND SOLID, AND NEATLY GRADED.
12. THE PAVEMENT SUBGRADE SHALL BE GRADED WITHIN +/- 0.10' (AVERAGING ZERO) OF PROPOSED SUBGRADE AS SHOWN ON THE PLANS AND SET BY THE ENGINEER IN THE FIELD. ALL FILL DEPOSITED IN THE AREAS SHALL BE CLEAN CLAY COMPACTED TO 95% OF THE MAXIMUM DENSITY SHOWN ON THE DRY WEIGHT CURVES DETERMINED BY THE MODIFIED PROCTOR ANALYSIS.
13. WASTE EXCAVATION SHALL BE DISPOSED OF BY THE CONTRACTOR AT HIS OWN EXPENSE AND AT A LOCATION PROVIDED BY THE CONTRACTOR WHICH LOCATION BE APPROVED BY OWNER.
14. SUITABLE EXCAVATION IS CLASSIFIED AS EXCAVATION CAPABLE OF 3,000 PSF BEARING WHEN COMPACTED TO 95% MODIFIED PROCTOR.
15. SUITABLE EMBANKMENT IS CLASSIFIED AS EMBANKMENT CAPABLE OF 3,000 PSF BEARING WHEN COMPACTED TO 95% MODIFIED PROCTOR, TO BE USED WITHIN PAVEMENT AREAS. SUITABLE EMBANKMENT CONTAINS 15% COMPACTION FACTOR.
16. UNCLASSIFIED EXCAVATION IS CLASSIFIED AS EXCAVATION NOT NECESSARILY CAPABLE OF A 3,000 PSF BEARING WHEN COMPACTED.
17. UNCLASSIFIED EMBANKMENT IS CLASSIFIED AS EMBANKMENT NOT REQUIRING 3,000 PSF BEARING WHEN COMPACTED. THIS FILL IS TO BE USED IN AREAS OUTSIDE ROADWAY LIMITS AND PAD AREAS.
18. UNCLASSIFIED EMBANKMENT SHALL BE COMPACTED TO NATURAL COMPACTION. SUITABLE EMBANKMENT SHALL BE COMPACTED TO 95% MODIFIED PROCTOR.
19. EARTHWORK QUANTITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO BIDDING. ANY DISCREPANCIES IN QUANTITIES SHALL BE REPORTED TO OWNER.
20. ALL UNDERCUTTING SHALL BE DONE AT THE DIRECTION OF THE OWNER OR THEIR REPRESENTATIVE. THE UNDERCUT SHALL BE CROSS-SECTIONED BY THE OWNER'S REPRESENTATIVE AFTER THE UNDERCUTTING HAS BEEN DONE TO DETERMINE QUANTITY.
21. ALL UTILITY SPOIL PILES SHALL BE CLEANED UP BY THE UTILITY CONTRACTOR. MATERIAL SHALL NOT BE REMOVED FROM THE SITE WITHOUT THE APPROVAL OF THE OWNER AND LOCATION OF DISPOSAL ON THE SITE SHALL BE APPROVED BY OWNER.
22. EXCAVATION BELOW TOPSOIL FOR PAVEMENT SHALL BE TO 2' BEHIND CURB OR PAVEMENT EDGE IN CUT AREA. EXCAVATION BELOW TOPSOIL FOR PADS SHALL BE 5' BEYOND BUILDING LIMITS.
23. TOPSOIL PRESENT IN CUT AREAS SHALL BE STOCKPILED OR USED AS UNCLASSIFIED EMBANKMENT ON SITE OR DISPOSED OF AT THE DIRECTION OF THE OWNER. STOCKPILE LOCATIONS SHALL BE APPROVED BY OWNER OR AS SHOWN ON THE PLANS.
24. IF REQUIRED, BORROW EXCAVATION SHALL BE OBTAINED OFF-SITE. ON-SITE BORROW AREAS SHALL BE DETERMINED BY THE OWNER PRIOR TO BORROW EXCAVATION. THE CONTRACTOR SHALL HAVE THE AREA CROSS-SECTIONED BY AN AUTHORIZED AGENT OF THE OWNER AND SHALL HAVE THE AREA CROSS-SECTIONED BY THE SAME AFTER THE BORROW AREA HAS BEEN EXCAVATED. IF BORROW MATERIAL IS REQUIRED, THE COST OF OBTAINING, TRANSPORTING, AND PLACEMENT OF THE BORROW MATERIAL ALONG WITH ANY FILLING OF BORROW PITS, IF REQUIRED, SHALL BE AGREED UPON BETWEEN OWNER AND CONTRACTOR PRIOR TO COMMENCEMENT OF BORROW WORK.
25. BERMING FOR LANDSCAPING SHALL BE ROUGH GRADED TO WITHIN 8" OF FINISHED GRADES AS SHOWN ON LANDSCAPE PLANS.

STORMWATER DISTRIBUTION SYSTEM

1. ALL STORM DRAIN CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS" (STANDARD SPECIFICATIONS), LATEST EDITION AND TO THE REQUIREMENTS OF I.E.P.A., O.S.H.A. AND THE MUNICIPALITY.
2. STORM SEWER WITH LESS THAN 3' OF COVER SHALL BE PVC SDR-26. STORM SEWER WITH MORE THAN 3' OF COVER SHALL BE PVC SDR-26. STORM SEWER DENOTED AS DUCTILE IRON PIPE (DIP) SHALL CONFORM TO ANSI A21.51 WITH JOINTS CONFORMING TO ANSI 21.11.
3. ALL STORM DRAINS WHICH FALL WITHIN PAVED AREAS SHALL BE BACKFILLED WITH GRANULAR TRENCH BACKFILL ACCORDING TO THE STANDARD SPECIFICATIONS AND THE DETAILS HEREIN.
4. ALL STORM PIPE, JOINTS AND FITTINGS SHALL BE INSTALLED AND BACKFILLED PER THE CORRESPONDING MANUFACTURER SPECIFICATIONS. SHOULD THERE BE ANY DISCREPANCIES BETWEEN MANUFACTURERS SPECIFICATIONS AND FEDERAL, STATE, OR LOCAL CODES, CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO BIDDING AND ORDERING THE MATERIAL.
5. ALL NOTES AND CONDITIONS SHOWN ON THE PLANS SHALL APPLY.



MINNEAPOLIS | MILWAUKEE | CHICAGO

Consultants:



03-19-2026



Signature:

Issues and revisions:

ISSUE LEVEL / REVISION:	DATE:	No.:
PLAN COMMISSION SUBMITTAL	12/15/2025	
REVISE STORM SEWER PER CLIENT	12-11-2025	
REV PLANS PER VILLAGE ENGR	03-19-2026	
BID SET	03-19-2026	

Client:

HOMER COMMUNITY CONSOLIDATED SCHOOL DISTRICT 33C

GOODINGS GROVE SCHOOL

Project title:

PARKING LOT EXPANSION

12914 W 143RD STREET
HOMER GLEN, ILLINOIS 60491

Sheet content:

AREA B

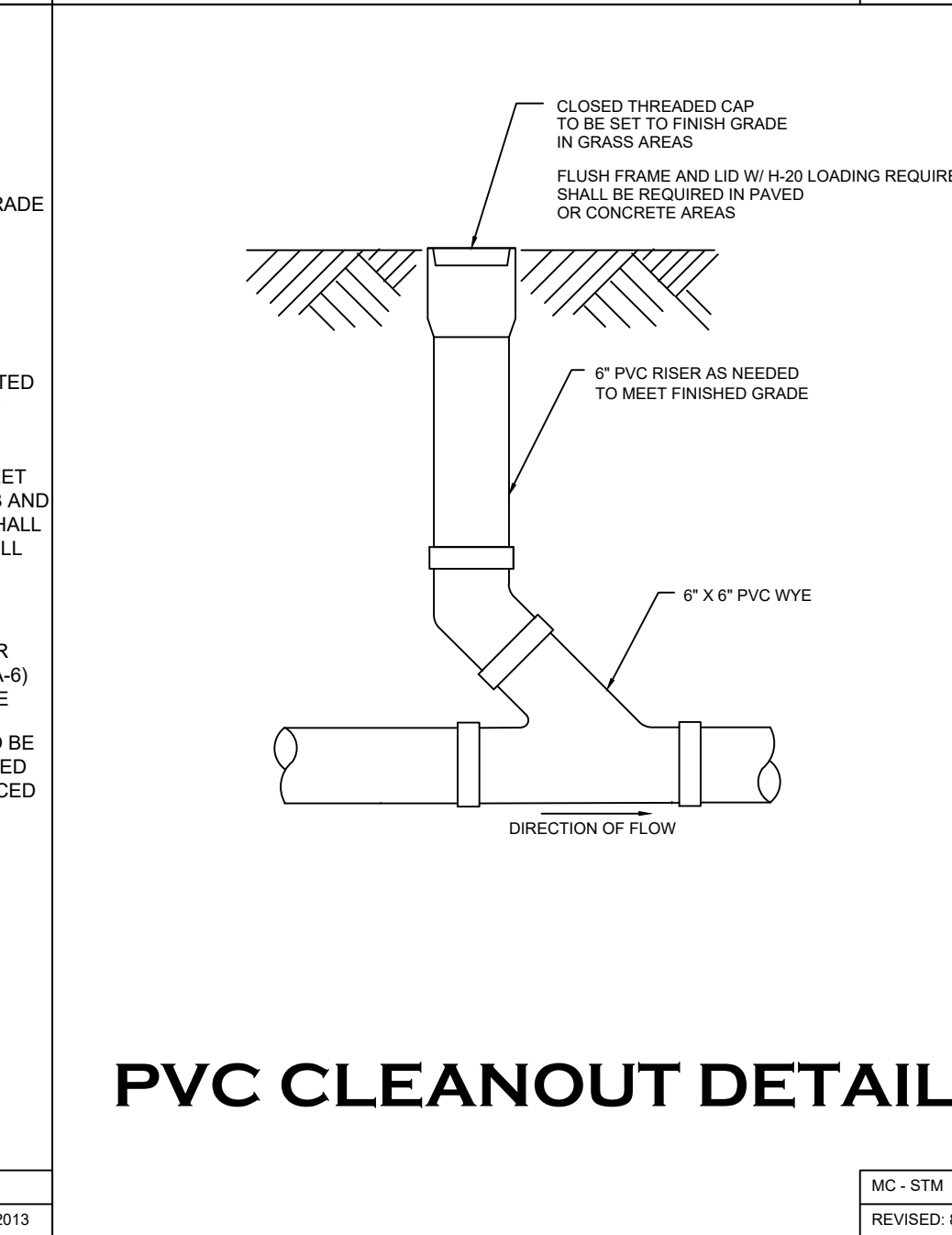
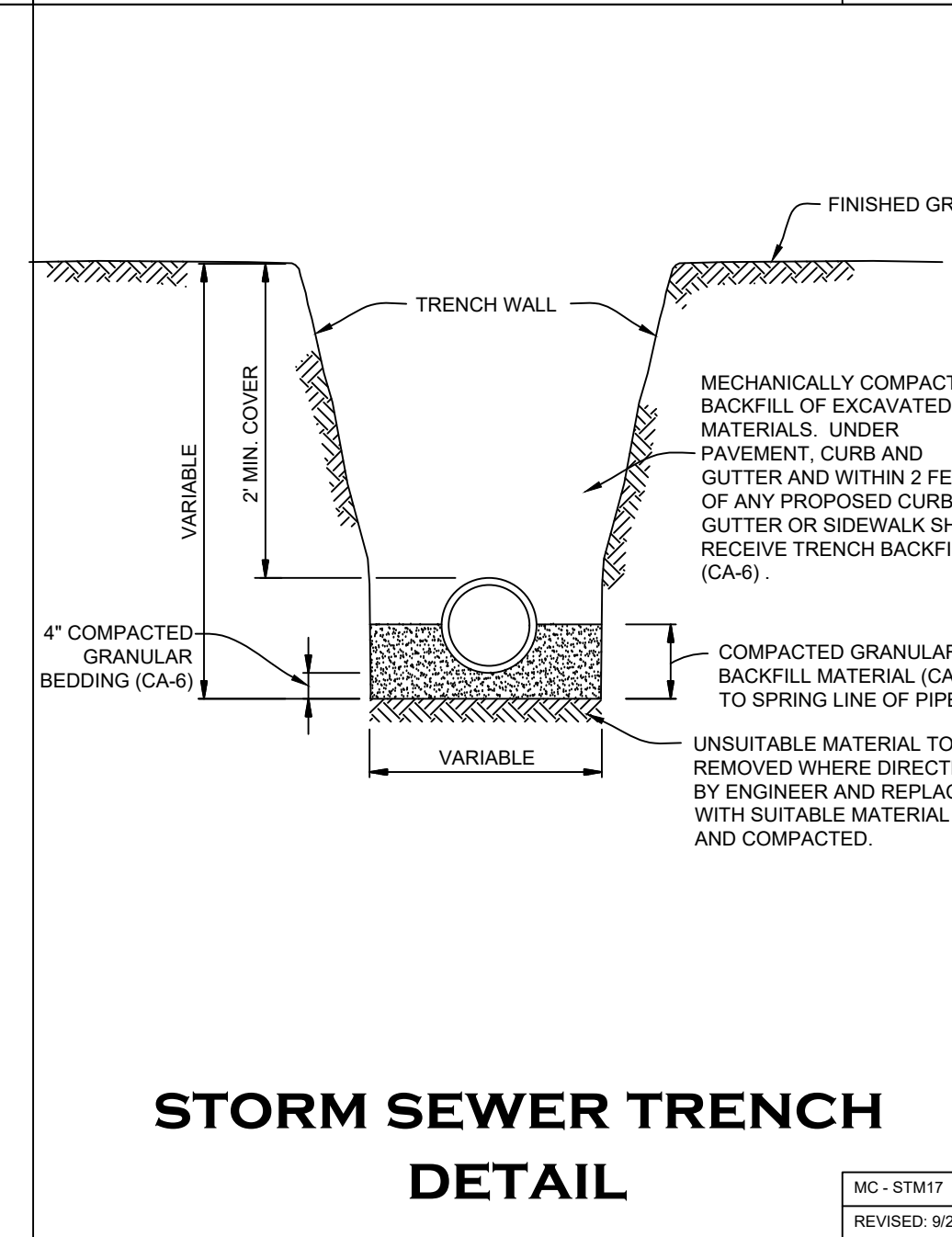
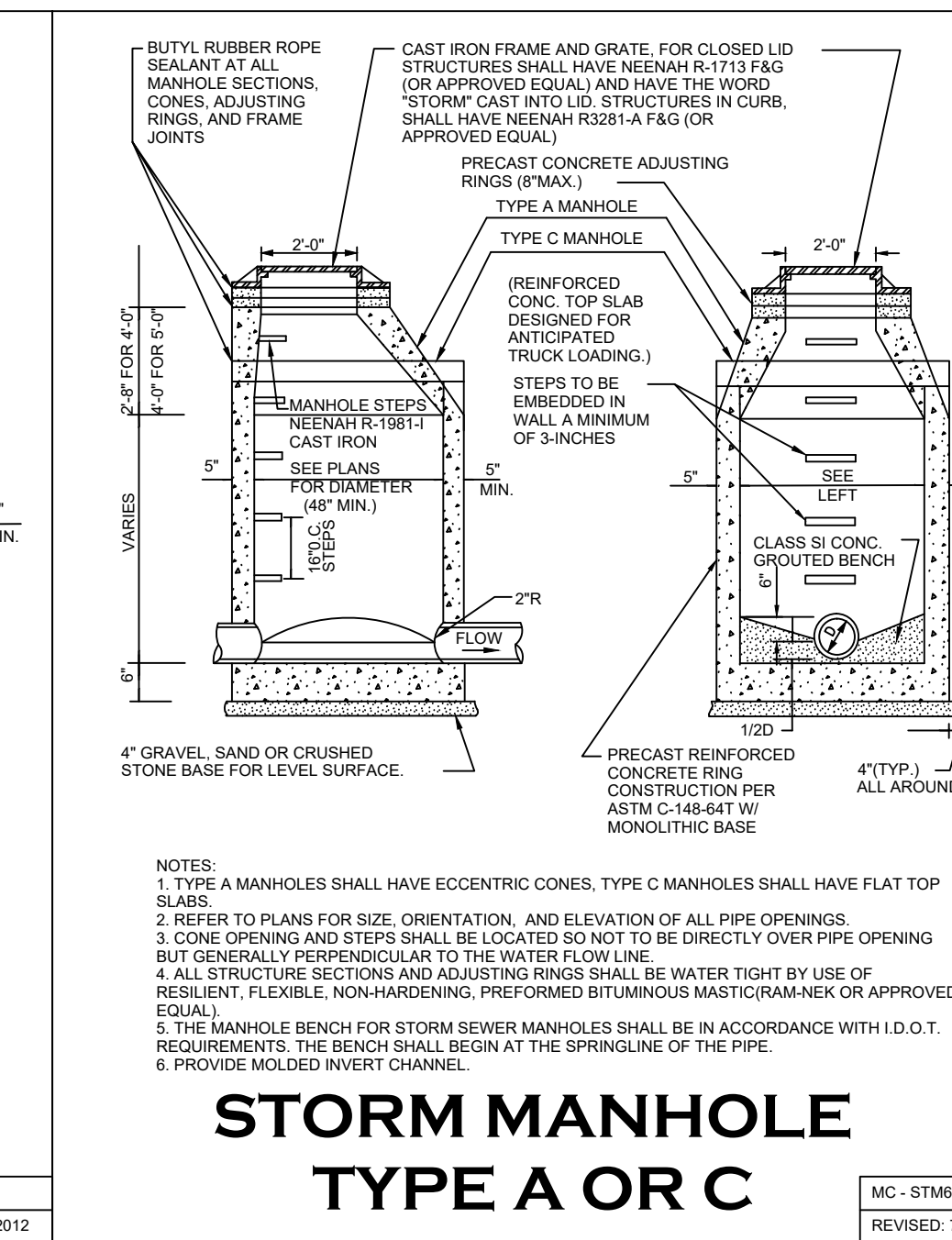
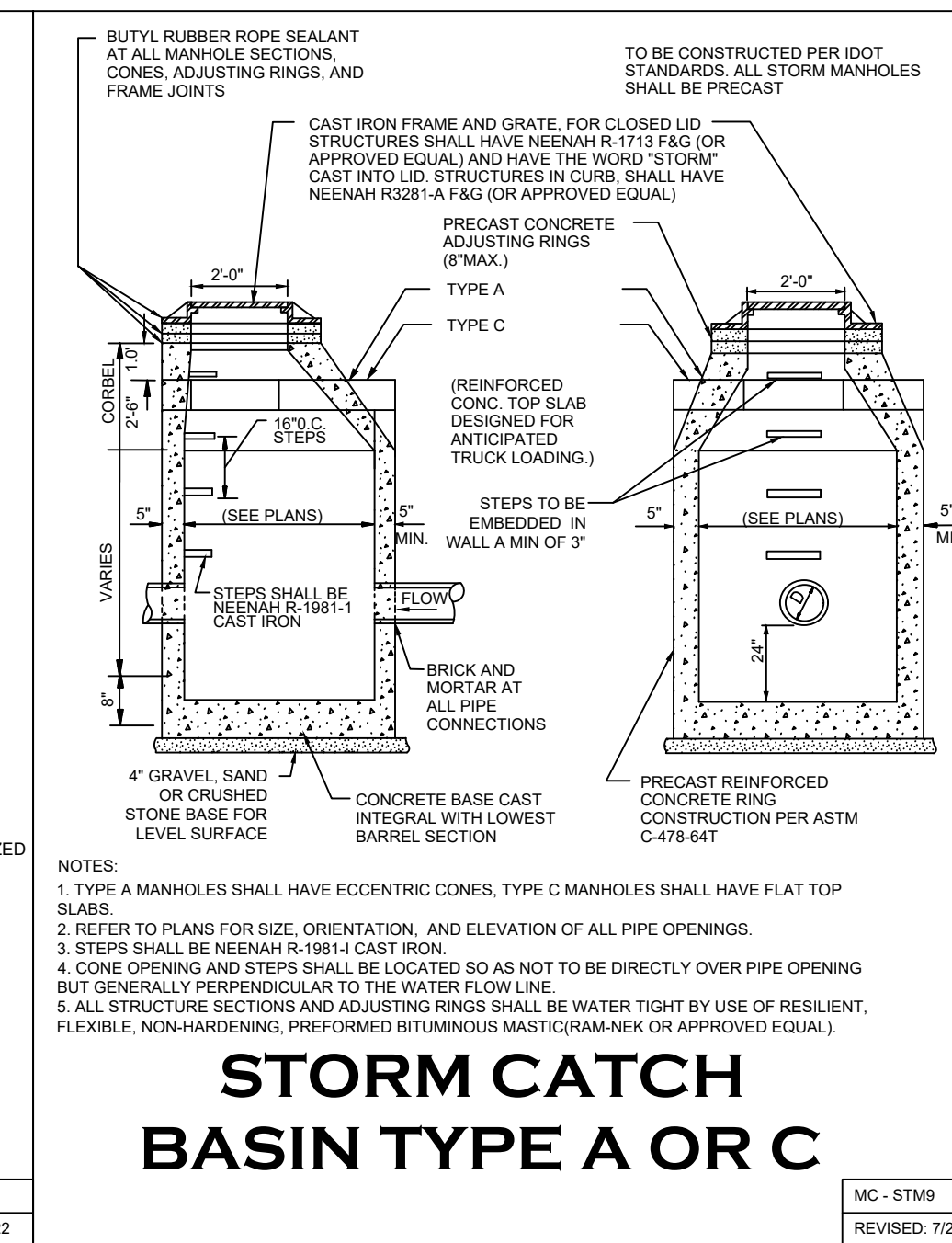
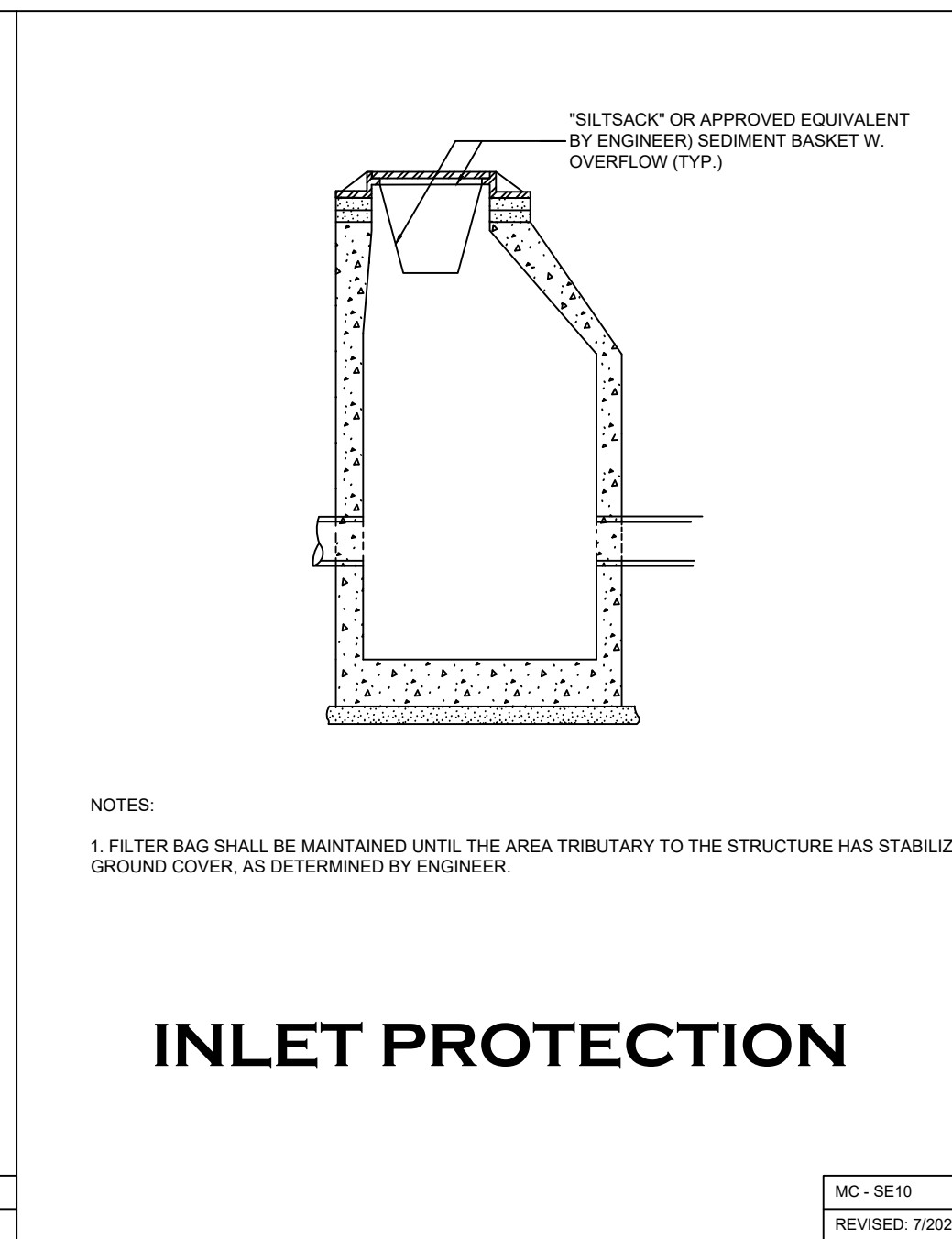
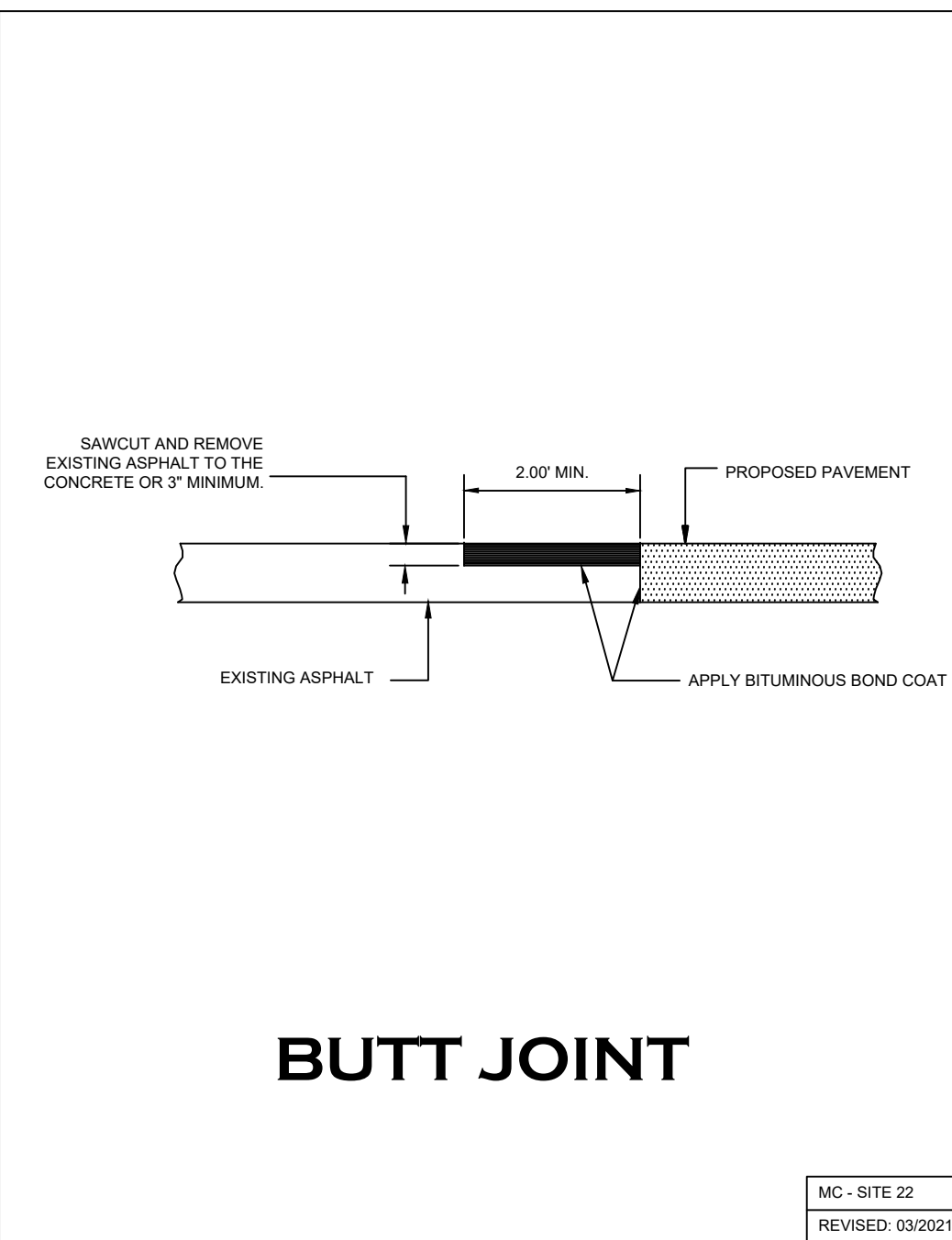
NEW CONDITIONS - STANDARD

CONSTRUCTION NOTES AND DETAILS

DATE: 03-19-2026
CLIENT PROJECT No.: -
INSPEC PROJECT No.: 301918
PROJECT MGR: DR
DRAWN BY: MeritCorp Group, LLC
CHECKED BY: DR

Sheet No.:

C52



Signature: _____

Issues and revisions:

ISSUE LEVEL / REVISION:	DATE:	No.:
PLAN COMMISSION SUBMITTAL	12/15/2025	
BID SET	03/19/2026	

Client: _____

HOMER COMMUNITY CONSOLIDATED SCHOOL DISTRICT 33C

GOODINGS GROVE SCHOOL

Project title: _____

PARKING LOT EXPANSION

12914 W 143RD STREET
HOMER GLEN, ILLINOIS 60491

Sheet content: _____

AREA B
NEW CONDITIONS - STANDARD
CONSTRUCTION NOTES AND DETAILS

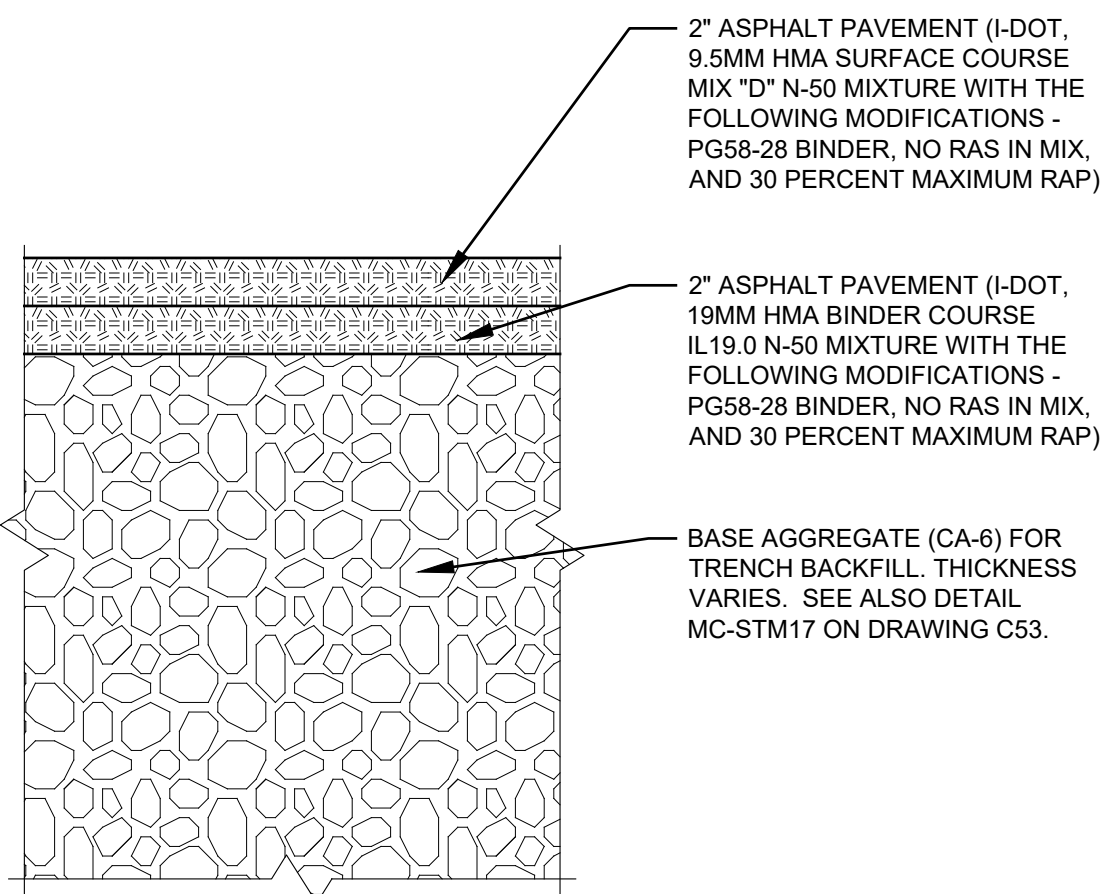
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CLIENT PROJECT No.:	-
INSPEC PROJECT No.:	301918
PROJECT MGR:	DR
DRAWN BY:	MeritCorp Group, LLC
CHECKED BY:	DR

Sheet No.: _____

NOTES:

1. REMOVE ALL ASPHALT PAVEMENT, BASE AGGREGATE, AND SUBSOILS AS NECESSARY TO INSTALL NEW ASPHALT PAVEMENT SECTION. DISPOSE OF EXCESS MATERIALS OFF SITE.

2. SAWCUT EXISTING PAVEMENT AT PROJECT LIMITS.



ASPHALT OVER CA-6 TRENCH BACKFILL DETAIL

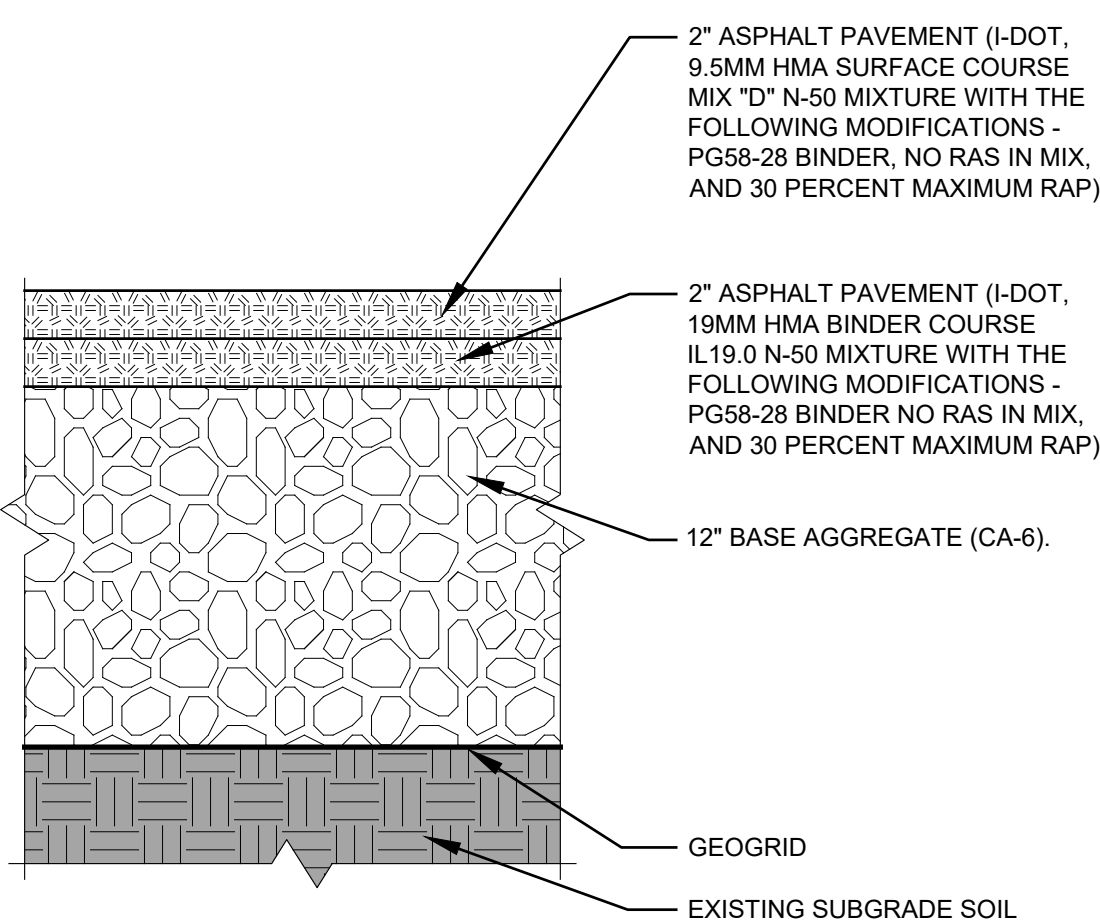
1 C60 NO SCALE

NOTES:

1. REMOVE ALL ASPHALT PAVEMENT, BASE AGGREGATE, SOD, TOPSOIL, AND SUBSOILS AS NECESSARY TO INSTALL NEW ASPHALT PAVEMENT SECTION. DISPOSE OF EXCESS MATERIALS OFF SITE.

2. NOTIFY ENGINEER IF EXISTING TOPSOIL IS PRESENT BELOW SUBGRADE ELEVATION.

3. SAWCUT EXISTING PAVEMENT AT PROJECT LIMITS.



4" PAVEMENT DETAIL

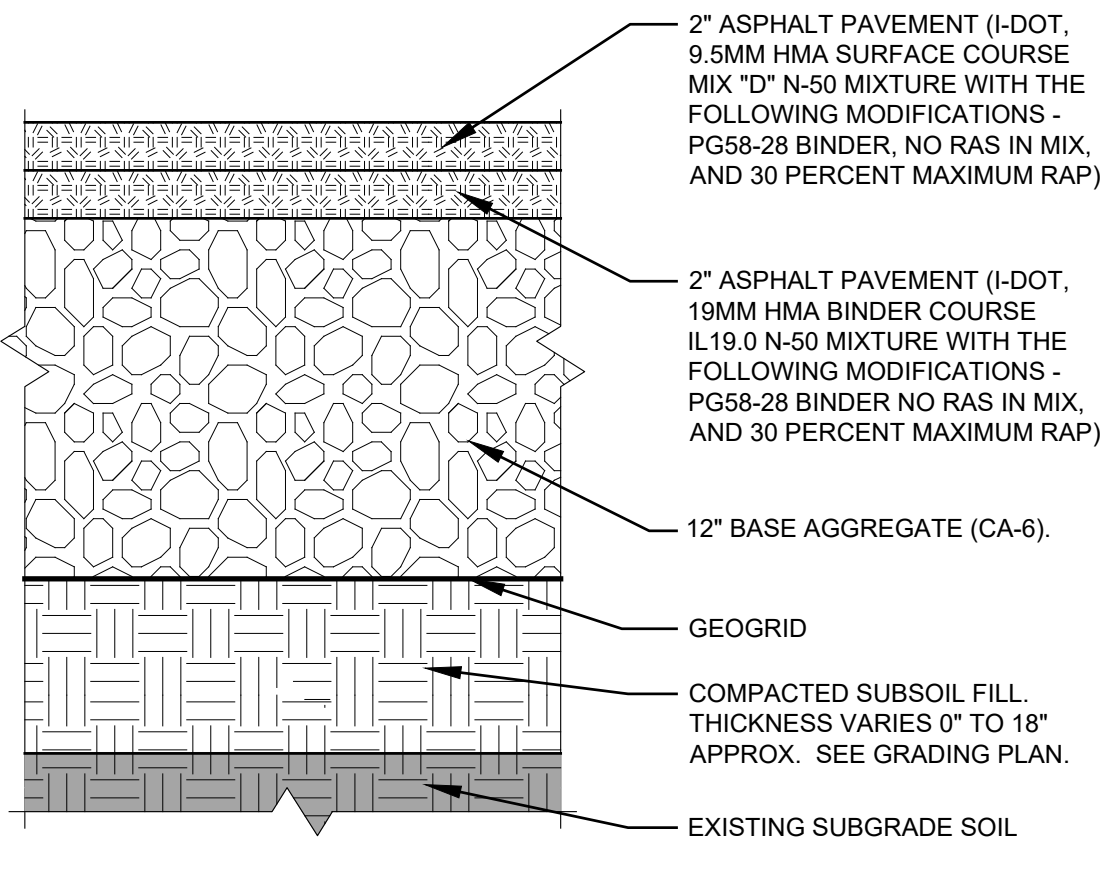
2 C60 NO SCALE

NOTES:

1. REMOVE ALL ASPHALT PAVEMENT, BASE AGGREGATE, SOD, TOPSOIL, AND SUBSOILS AS NECESSARY TO INSTALL NEW ASPHALT PAVEMENT SECTION. DISPOSE OF EXCESS MATERIALS OFF SITE.

2. REMOVE ALL TOPSOIL.

3. SAWCUT EXISTING PAVEMENT AT PROJECT LIMITS.



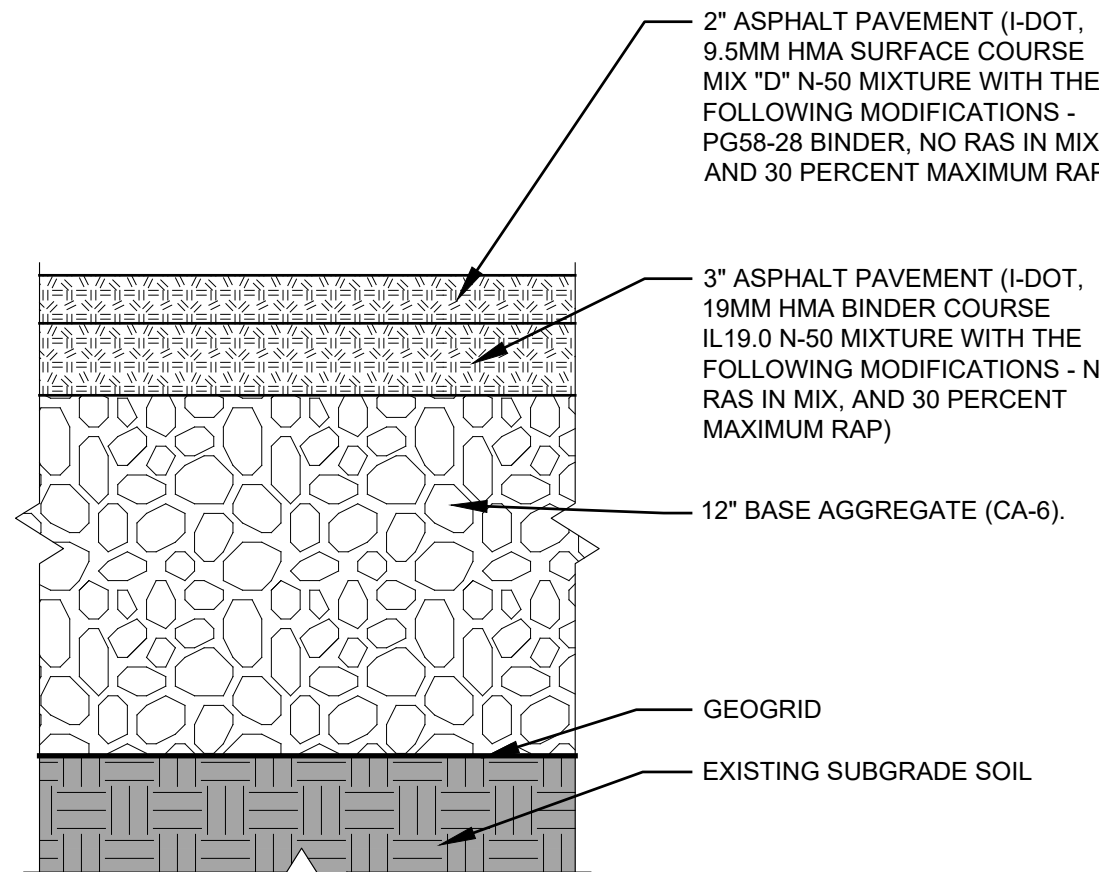
4" PAVEMENT DETAIL

3 C60 NO SCALE

NOTES:

1. REMOVE ALL ASPHALT PAVEMENT, BASE AGGREGATE, AND SUBSOILS AS NECESSARY TO INSTALL NEW ASPHALT PAVEMENT SECTION. DISPOSE OF EXCESS MATERIALS OFF SITE.

2. SAWCUT EXISTING PAVEMENT AT PROJECT LIMITS.

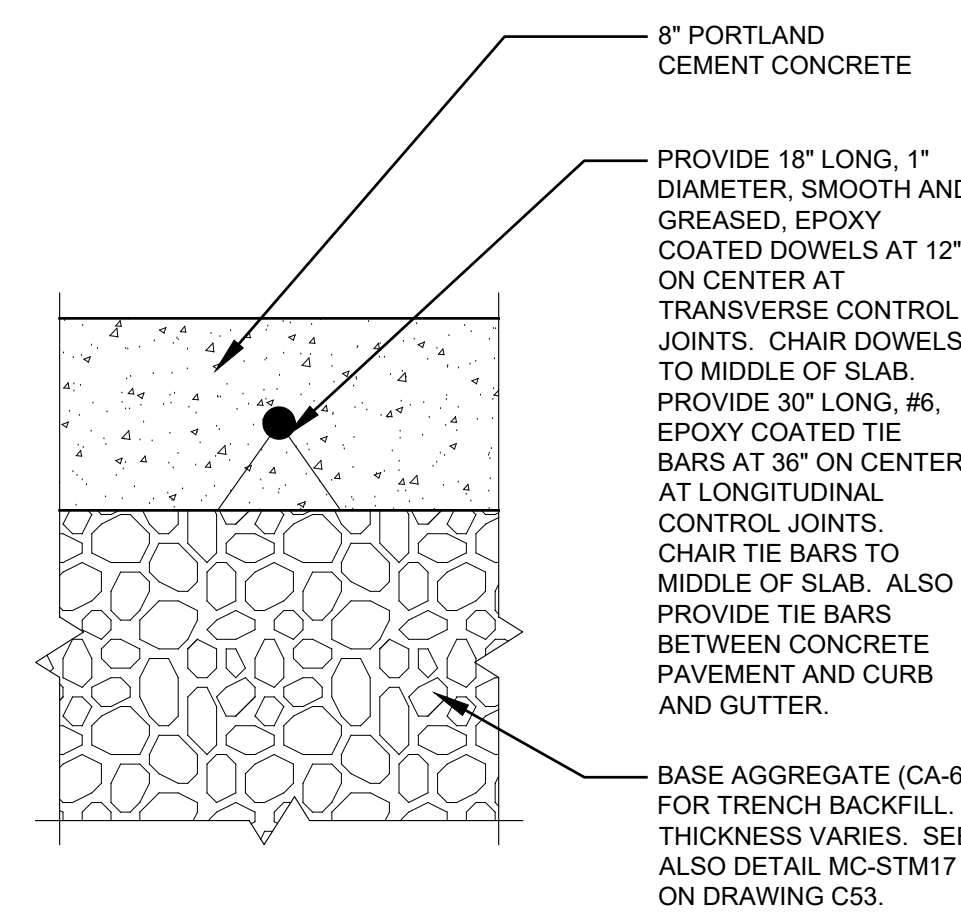


5" PAVEMENT DETAIL

4 C60 NO SCALE

NOTE:

1. CONTROL JOINT SPACING SHALL BE A MAXIMUM OF 10'-0" ON CENTER EACH WAY.



CONCRETE DETAIL

5 C60 NO SCALE

NOTES:

1. 3/4" PREFORMED BITUMINOUS JOINT WITH TWO (2) NUMBER 6 EPOXY COATED SMOOTH DOWEL BARS (3/4" DIA. X 18") WITH GREASE CAPS SHALL BE PLACED EVERY 150', 10' EITHER SIDE OF DRAINAGE STRUCTURES, P.C.'S, RADIUS POINTS AND BACK OF CUL-DE-SACS. WHEN EXPANSION JOINTS ARE CONSTRUCTED ADJACENT TO EXISTING CURB & GUTTER THE EXISTING CURB SHALL BE DRILLED AND TWO (2) NUMBER 6 EPOXY COATED SMOOTH DOWEL BARS (3/4" X 18") GROUTED IN PLACE. GREASE CAPS SHALL BE PLACED ON THE SIDE OF THE NEW CURB AND GUTTER SHALL HAVE A PINCHED STOP THAT WILL PROVIDE A MINIMUM 1" EXPANSION.

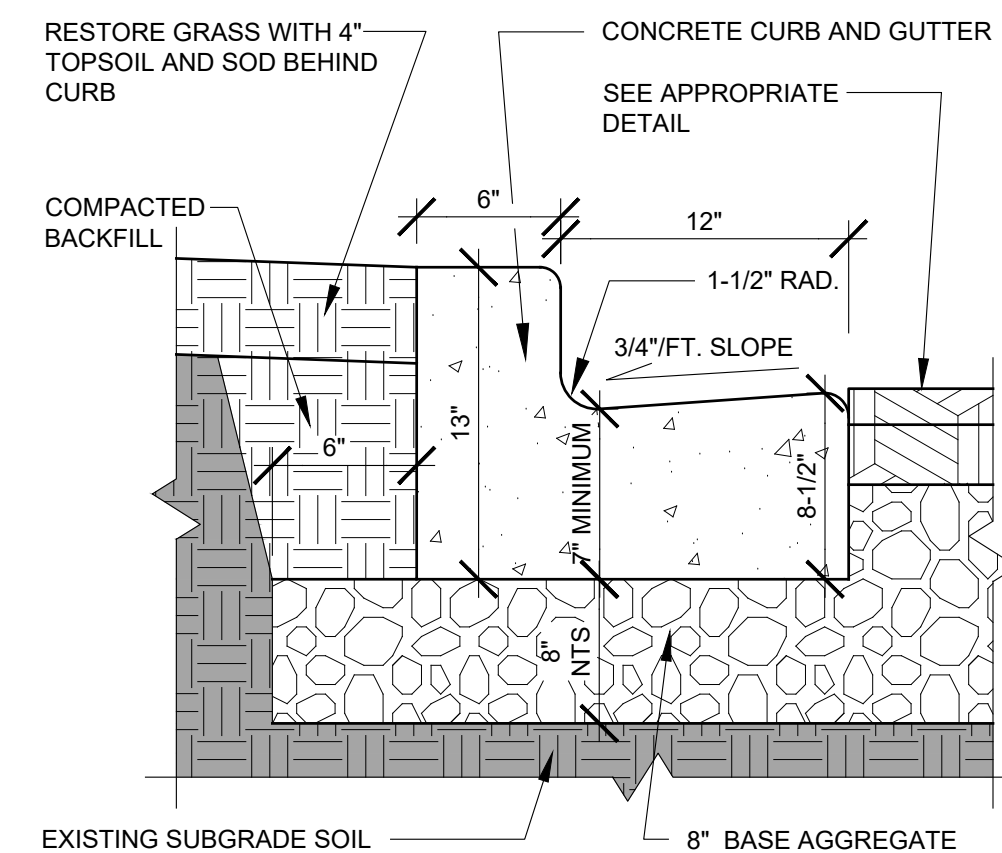
2. TOOLED CONTROL JOINTS OR SAW CUTS SHALL BE MADE EVERY 10'.

3. SAWCUTS SHALL BE MADE WITHIN TWENTY-FOUR (24) HOURS OF CONCRETE PLACEMENT.

4. FOR CURB AND GUTTER CONSTRUCTED OVER UTILITY TRENCHES, TWO (2) EPOXY COATED REINFORCING BARS (NO. 4) SHALL BE PLACED IN THE CURB AND GUTTER, CENTERED OVER THE TRENCH.

5. WHERE CONCRETE SIDEWALK IS PRESENT BEHIND CURB, PROVIDE 1/2" WIDE EXPANSION JOINT MATERIAL BETWEEN CURB AND SIDEWALK. SIDEWALK AND EXPANSION JOINT MATERIAL SHALL BE FLUSH WITH TOP OF CURB.

6. UNIT PRICE INCLUDES REMOVAL OF EXISTING MATERIALS AND RESTORATION WITH TOPSOIL AND SOD.



LOW SIDE - CATCHING WATER B6-12 CONCRETE CURB DETAIL

6 C60 NO SCALE

NOTES:

1. 3/4" PREFORMED BITUMINOUS JOINT WITH TWO (2) NUMBER 6 EPOXY COATED SMOOTH DOWEL BARS (3/4" DIA. X 18") WITH GREASE CAPS SHALL BE PLACED EVERY 150', 10' EITHER SIDE OF DRAINAGE STRUCTURES, P.C.'S, RADIUS POINTS AND BACK OF CUL-DE-SACS. WHEN EXPANSION JOINTS ARE CONSTRUCTED ADJACENT TO EXISTING CURB & GUTTER THE EXISTING CURB SHALL BE DRILLED AND TWO (2) NUMBER 6 EPOXY COATED SMOOTH DOWEL BARS (3/4" X 18") GROUTED IN PLACE. GREASE CAPS SHALL BE PLACED ON THE SIDE OF THE NEW CURB AND GUTTER SHALL HAVE A PINCHED STOP THAT WILL PROVIDE A MINIMUM 1" EXPANSION.

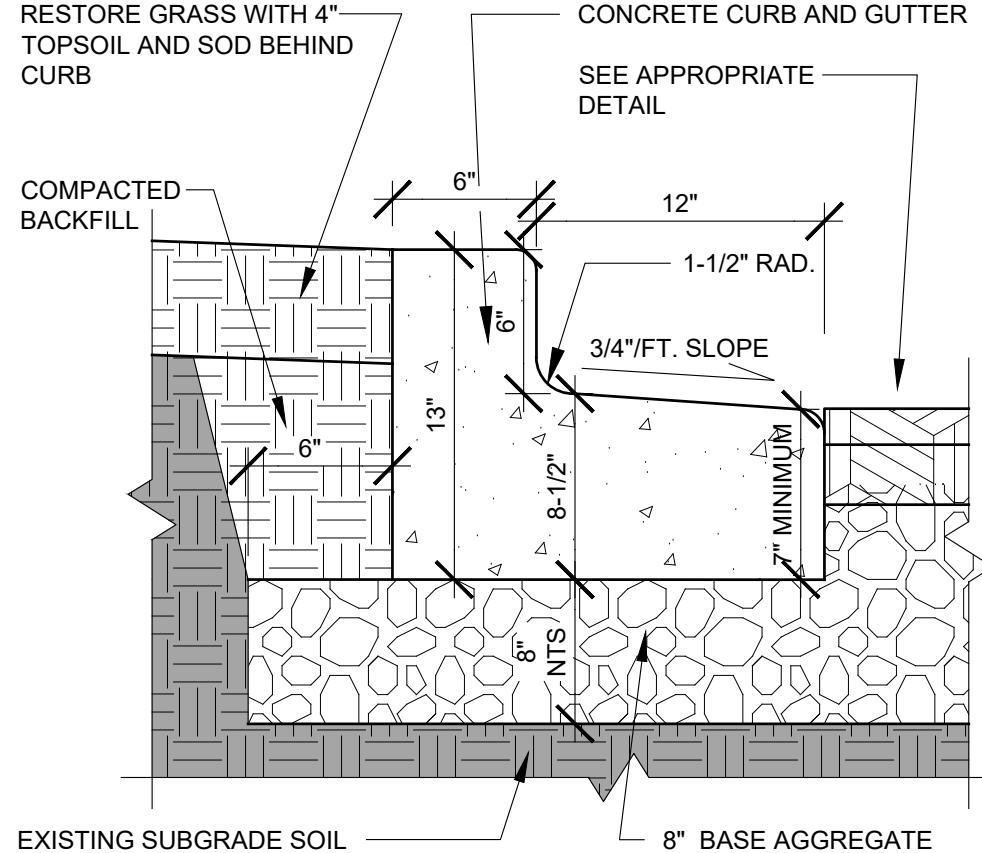
2. TOOLED CONTROL JOINTS OR SAW CUTS SHALL BE MADE EVERY 10'.

3. SAWCUTS SHALL BE MADE WITHIN TWENTY-FOUR (24) HOURS OF CONCRETE PLACEMENT.

4. FOR CURB AND GUTTER CONSTRUCTED OVER UTILITY TRENCHES, TWO (2) EPOXY COATED REINFORCING BARS (NO. 4) SHALL BE PLACED IN THE CURB AND GUTTER, CENTERED OVER THE TRENCH.

5. WHERE CONCRETE SIDEWALK IS PRESENT BEHIND CURB, PROVIDE 1/2" WIDE EXPANSION JOINT MATERIAL BETWEEN CURB AND SIDEWALK. SIDEWALK AND EXPANSION JOINT MATERIAL SHALL BE FLUSH WITH TOP OF CURB.

6. UNIT PRICE INCLUDES REMOVAL OF EXISTING MATERIALS AND RESTORATION WITH TOPSOIL AND SOD.

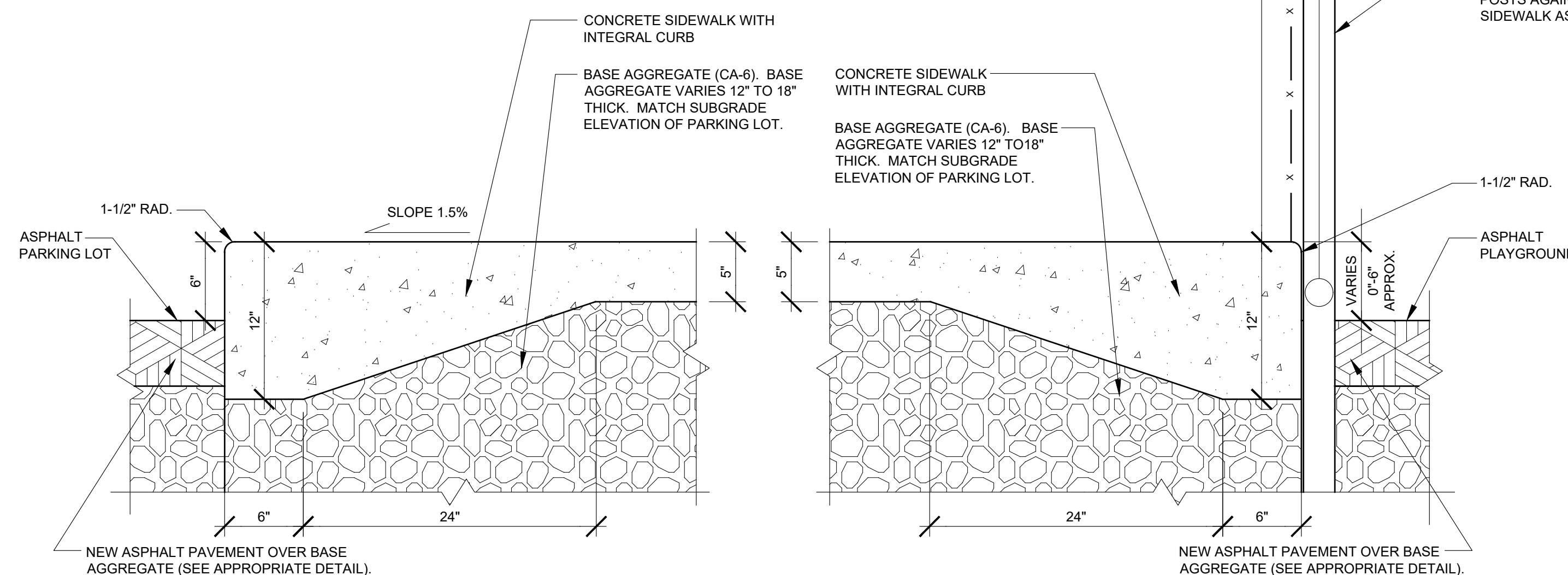


HIGH SIDE - REJECT CURB B6-12 CONCRETE CURB DETAIL

7 C60 NO SCALE

NOTES:

1. WHERE NOTED ON SITE PLANS, DEPRESS SIDEWALK AND INTEGRAL CURB TO CREATE ADA RAMP.
2. CONTROL JOINT SPACING SHALL BE A MAXIMUM OF 8'-0" ON CENTER EACH WAY. MATCH EXISTING JOINT LAYOUT WHENEVER POSSIBLE.
3. UNIT PRICE INCLUDES REMOVAL OF EXISTING MATERIALS AND RESTORATION WITH TOPSOIL AND SEED.
4. RESTORE DISTURBED GRASS AREAS WITH 4" TOPSOIL, SEED, AND EROSION MAT.
5. SEE SITE PLAN FOR LOCATIONS WHERE GRASS ABUTS SIDEWALK/FENCE IN LIEU OF ASPHALT PLAYGROUND.



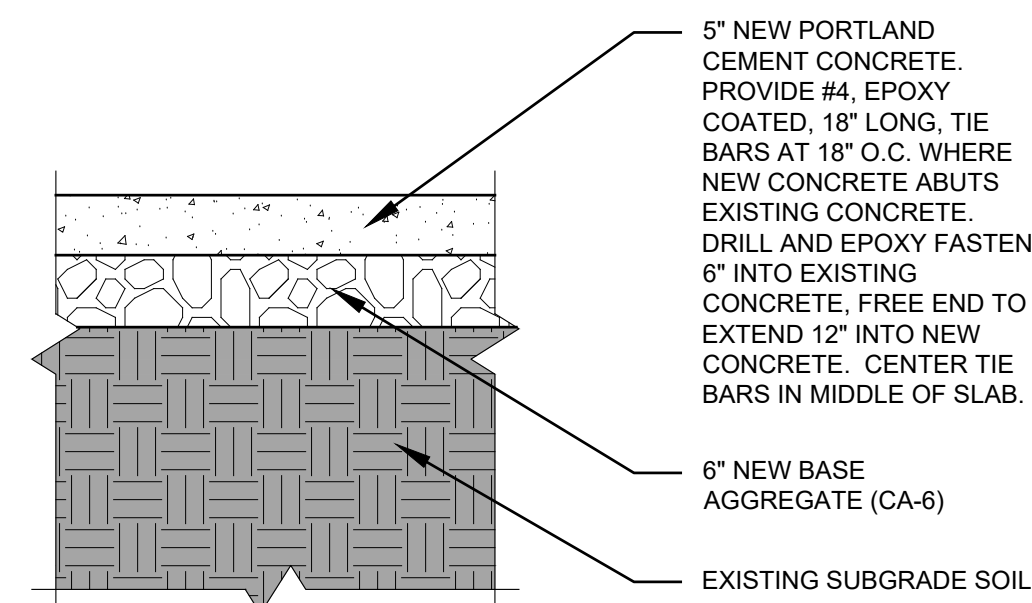
CONCRETE SIDEWALK WITH INTEGRAL CURB DETAIL - LOOKING NORTH

8 C60 NO SCALE

NOTE:

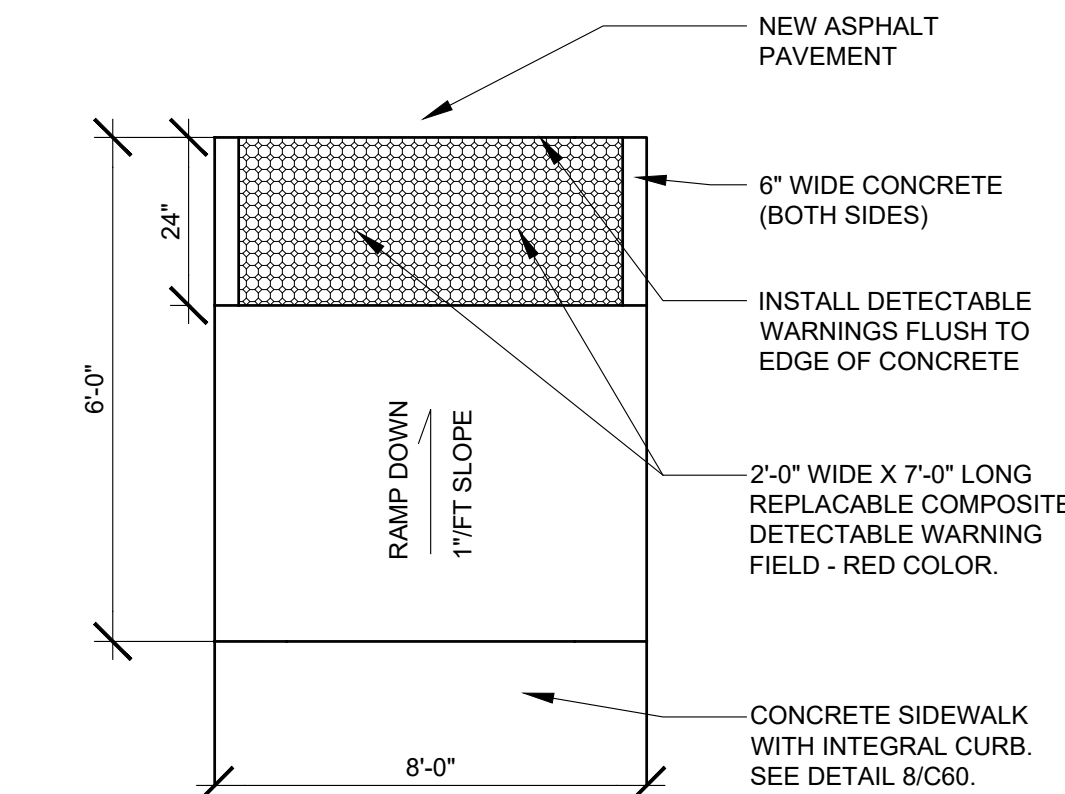
1. CONTROL JOINT SPACING SHALL ME A MAXIMUM OF 10'-0" ON CENTER EACH WAY. MATCH EXISTING JOINT LAYOUT WHENEVER POSSIBLE. MATCH SIDEWALK WIDTH IF UNDER 10'-0" WIDE.

2. UNIT PRICE INCLUDES REMOVAL OF EXISTING MATERIALS AND RESTORATION WITH TOPSOIL, SEED, AND EROSION MAT.



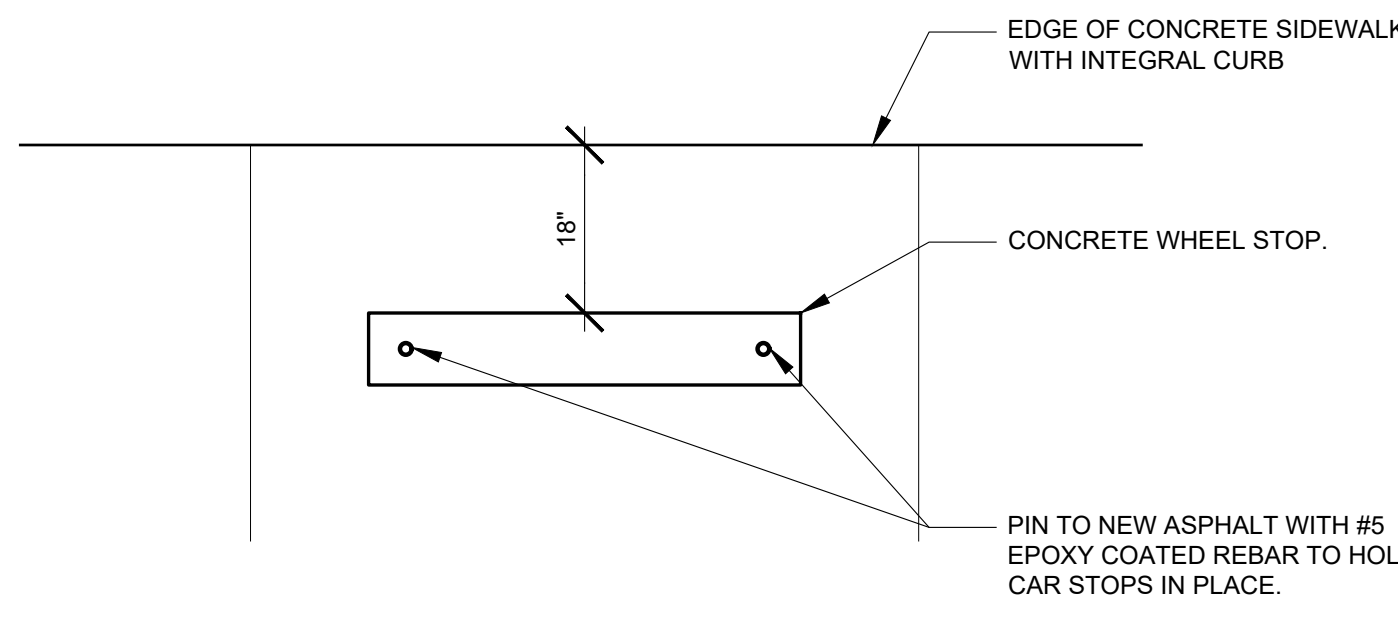
CONCRETE SIDEWALK DETAIL

9 C60 NO SCALE



ADA RAMP DETAIL

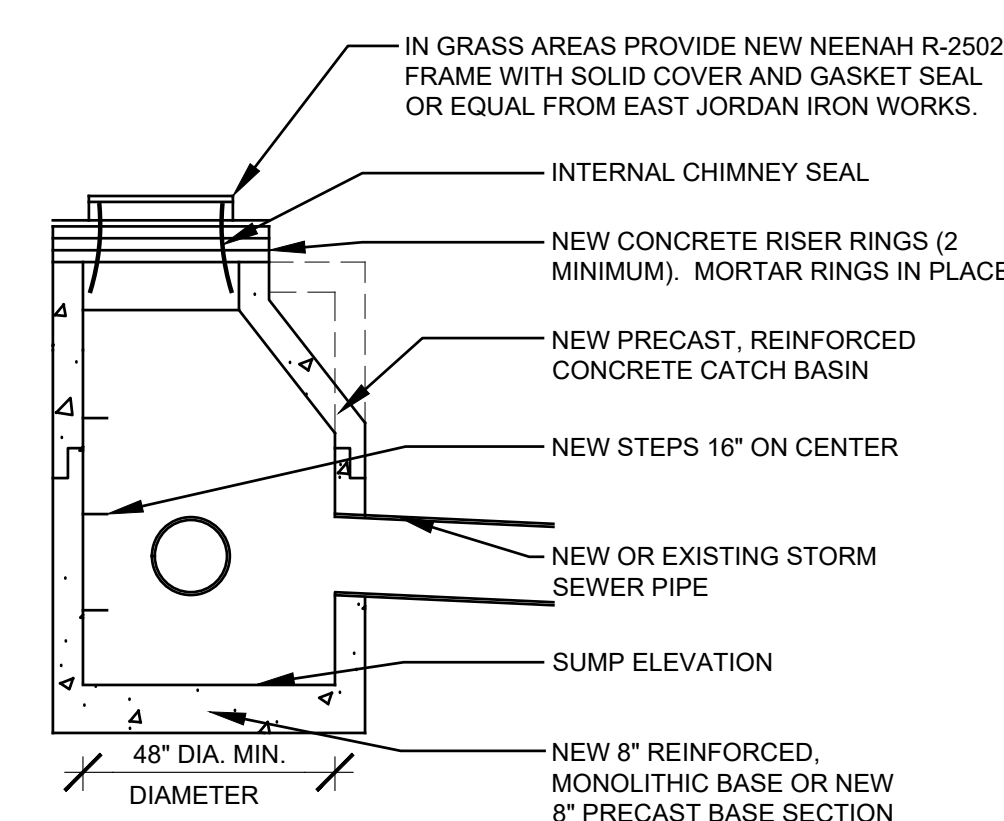
10 C60 NO SCALE



WHEEL STOP DETAIL

11 C60 NO SCALE

NOTES:
1) SEE SITE PLANS FOR RIM, INVERT, AND SUMP ELEVATIONS.



STORM MANHOLE DETAIL

12 C60 NO SCALE

Consultants:

Signature:

ISSUE LEVEL / REVISION:	DATE:	No.:
98% COMPLETE	04/18/2025	
REVISED LAYOUT	12/03/2025	
VILLAGE OF HOMER GLEN PLAN		
PLAN REVIEW SUBMITTAL	12/15/2025	
SWMP UPDATE WITH PLAN		
COMMISSION REQUESTED		
BULK REGS AND TREE PRES.	03/12/2026	
BID SET	03/19/2026	

Client:

HOMER COMMUNITY CONSOLIDATED SCHOOL DISTRICT 33C

GOODINGS GROVE SCHOOL

Project Title:

PARKING LOT EXPANSION AND IMPROVEMENTS

12914 W 143RD STREET
HOMER GLEN, ILLINOIS 60491

Sheet content:

DETAILS

DATE:	03/19/2026
CLIENT PROJECT No.:	-
INSPEC PROJECT No.:	301918
PROJECT MGR:	DR
DRAWN BY:	TR
CHECKED BY:	DR

Sheet No.:

C60

3/24/2026 4:38 PM D:\A\ROEBER\DWG\C:\Users\roeberr\OneDrive - Inspect\spec - IL\WIP\PROJECTS\Homer Consolidated SD 33-C0019_10_Goodings Grove Pkg Lot-Seat Coating 3 School\2-Design\CAD Files\24-36 & 30x42 Title Sheet and Details - HCS033 Goodings Grove 2026-03-19.dwg

Consultants:

Signature:

Issues and revisions:

ISSUE LEVEL / REVISION:	DATE:	No.:
98% COMPLETE	04/18/2025	
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CONSOLIDATED SCHOOL
DISTRICT 33C

GOODINGS GROVE
SCHOOL

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AND IMPROVEMENTS

12914 W 143RD STREET
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Sheet content:

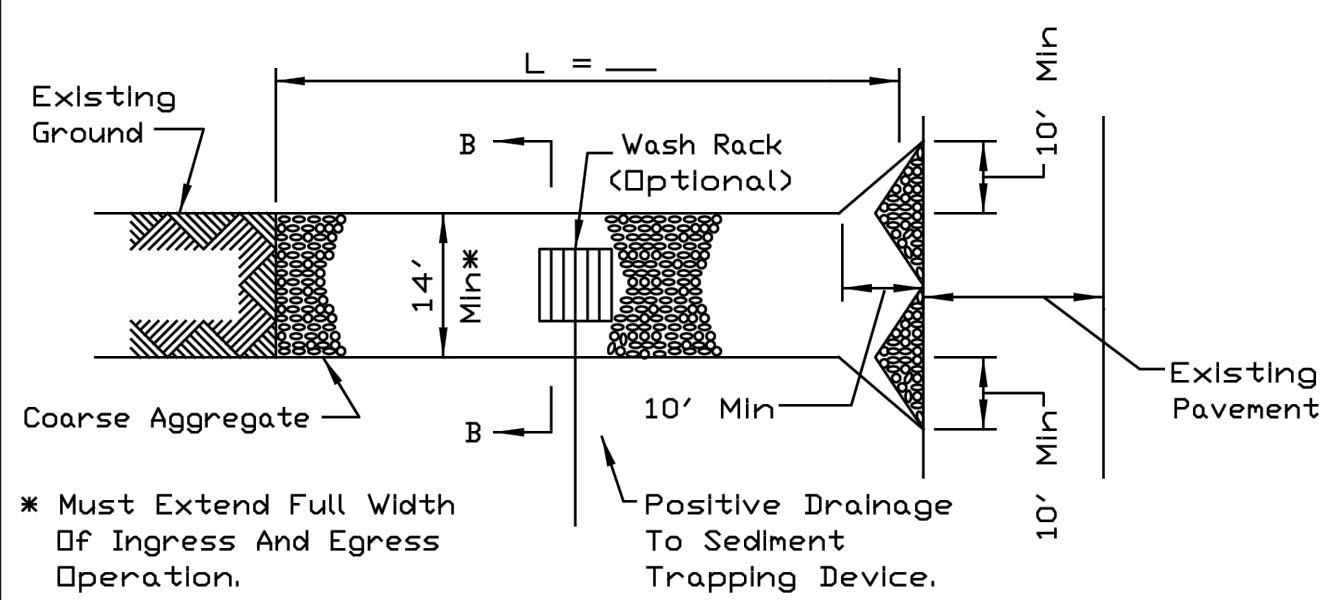
DETAILS

DATE: 03/19/2026
CLIENT PROJECT No.: -
INSPEC PROJECT No.: 301918
PROJECT MGR: DR
DRAWN BY: TR
CHECKED BY: DR

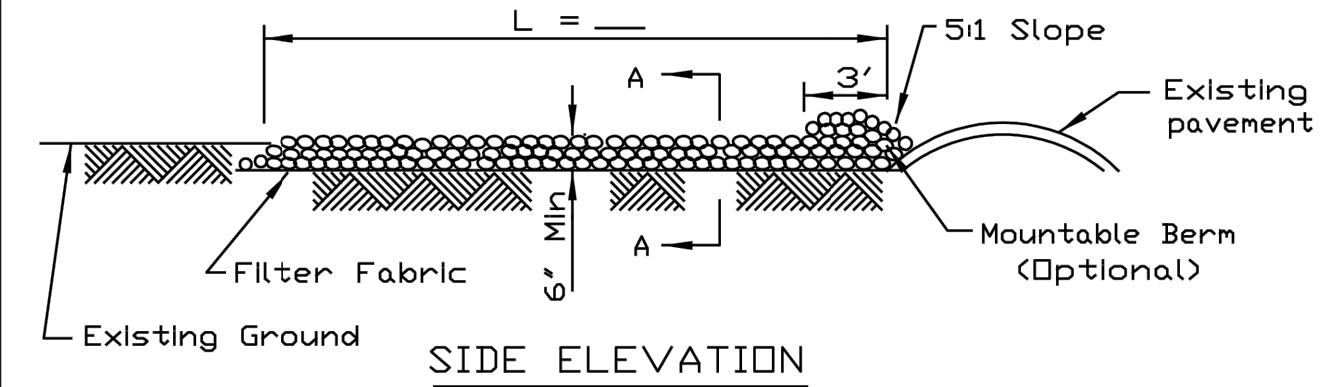
Sheet No.:

C61

STABILIZED CONSTRUCTION ENTRANCE PLAN



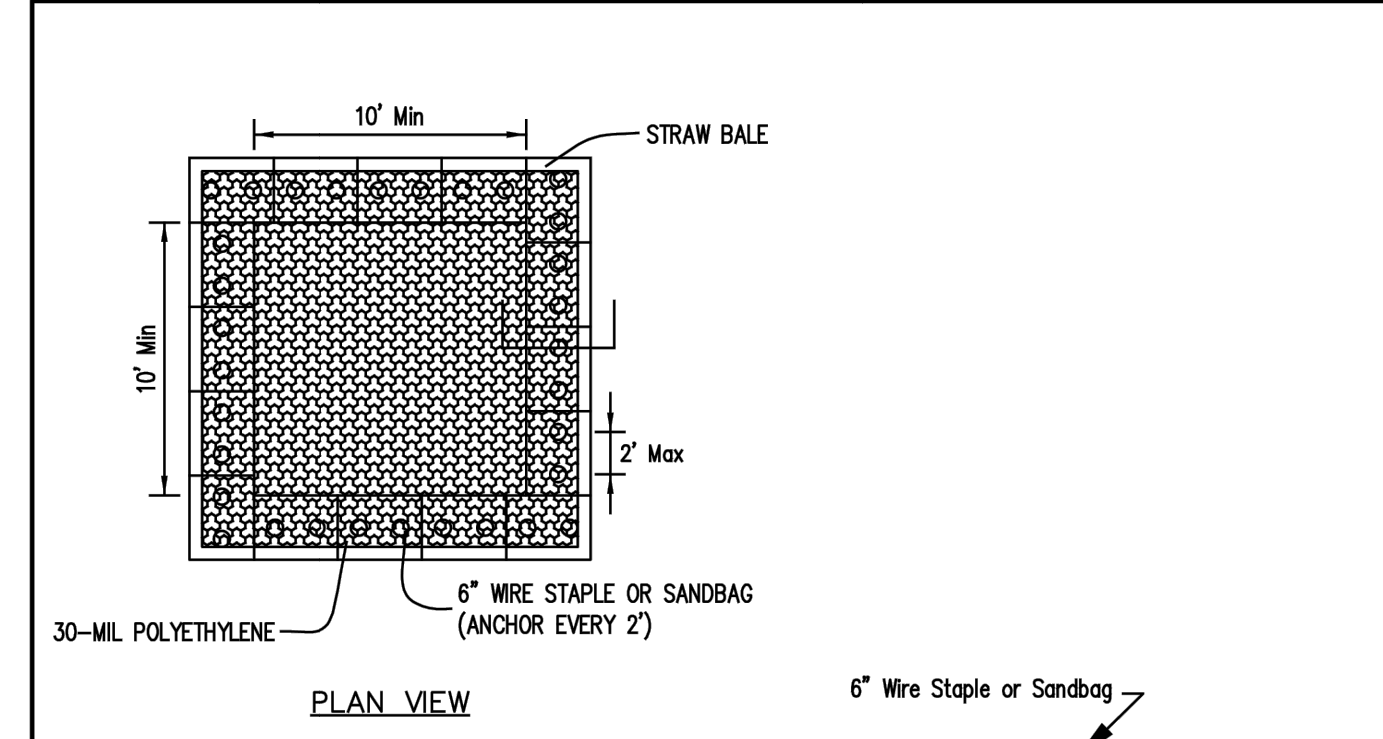
PLAN VIEW



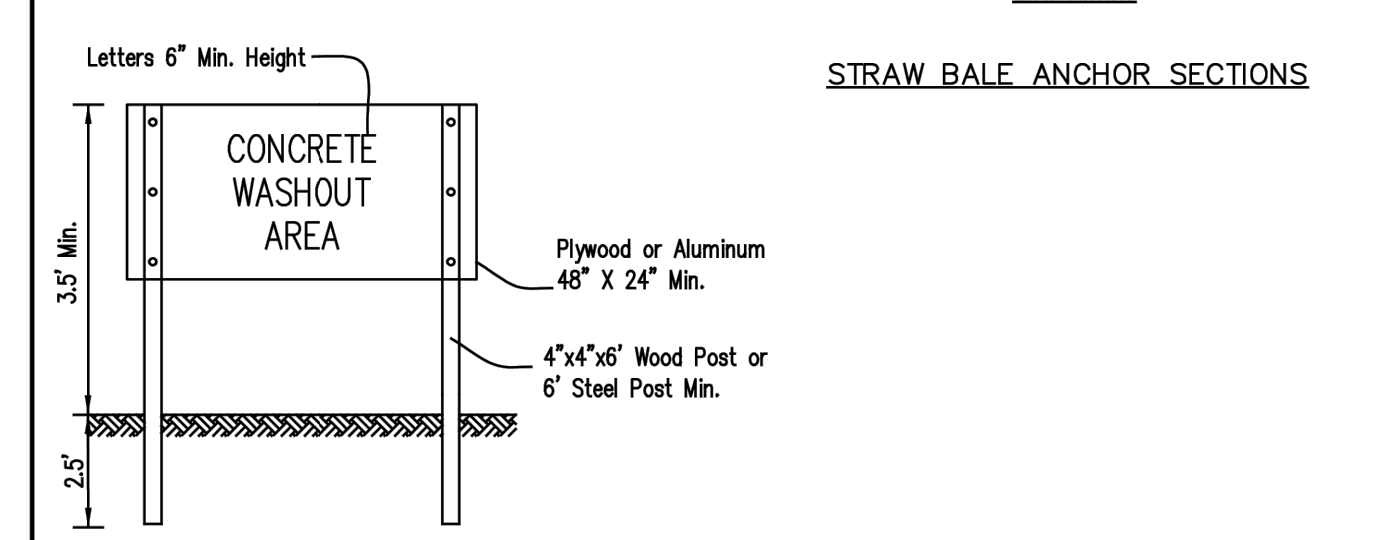
SIDE ELEVATION

- NOTES:
1. Filter fabric shall meet the requirements of material specification 592 GEOTEXTILE, Table I or 2, Class I, II or IV and shall be placed over the cleared area prior to the placing of rock.
 2. Rock or reclaimed concrete shall meet one of the following IDOT coarse aggregate gradation, CA-1, CA-2, CA-3 or CA-4 and be placed according to construction specification 25 ROCKFILL using placement Method 1 and Class III compaction.
 3. Any drainage facilities required because of washing shall be constructed according to manufacturers specifications.
 4. If wash racks are used they shall be installed according to the manufacturer's specifications.

REFERENCE	STANDARD DWG. NO.
Project _____ Date _____	IL-630
Designed _____ Date _____	SHEET 1 OF 2
Checked _____ Date _____	DATE 8-18-94
Approved _____ Date _____	



PLAN VIEW

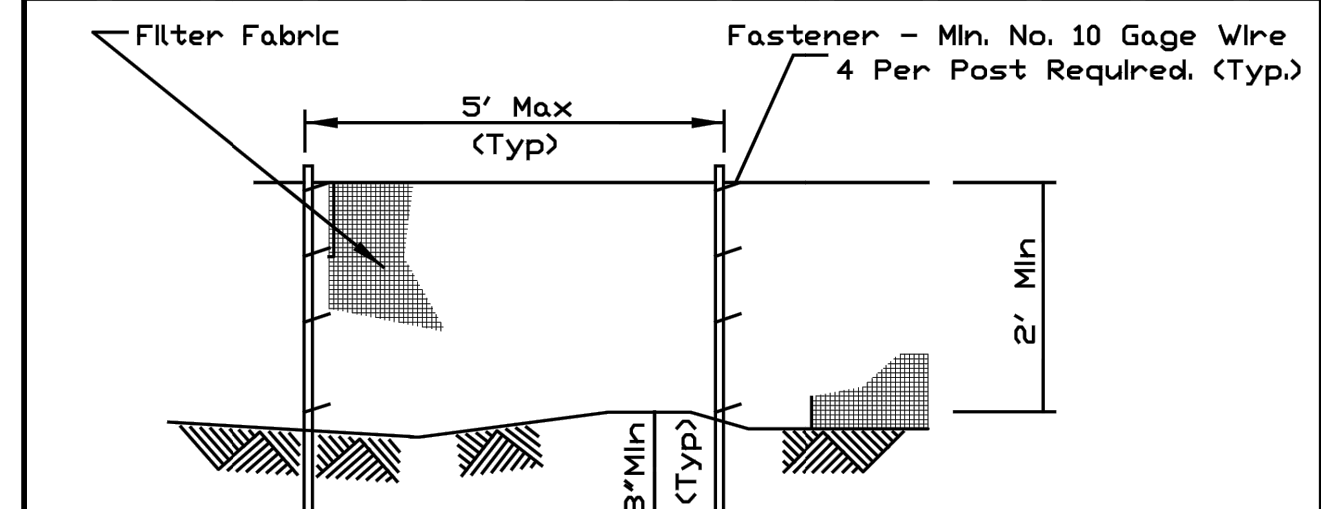


SIGN DETAIL

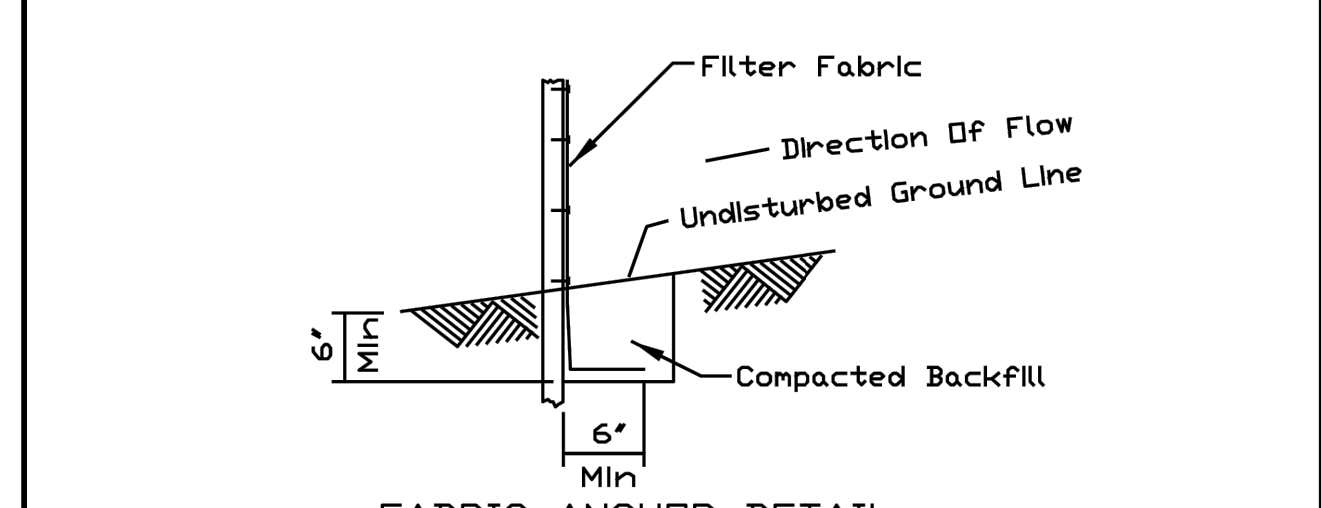
- NOTES:
1. Maintaining temporary concrete washout facilities shall include removing and disposing of hardened concrete and/or slurry and returning the facilities to a functional condition.
 2. Facility shall be cleaned or reconstructed in a new area once washout becomes two-thirds full.
 3. Each straw bale is to be staked in place using (2) 2"x2"x4' wooden stakes.

REFERENCE	STANDARD DWG. NO.
Project _____ Date _____	TEMPORARY CONCRETE WASHOUT FACILITY - STRAW BALE
Designed _____ Date _____	
Checked _____ Date _____	
Approved _____ Date _____	

SILT FENCE PLAN



ELEVATION



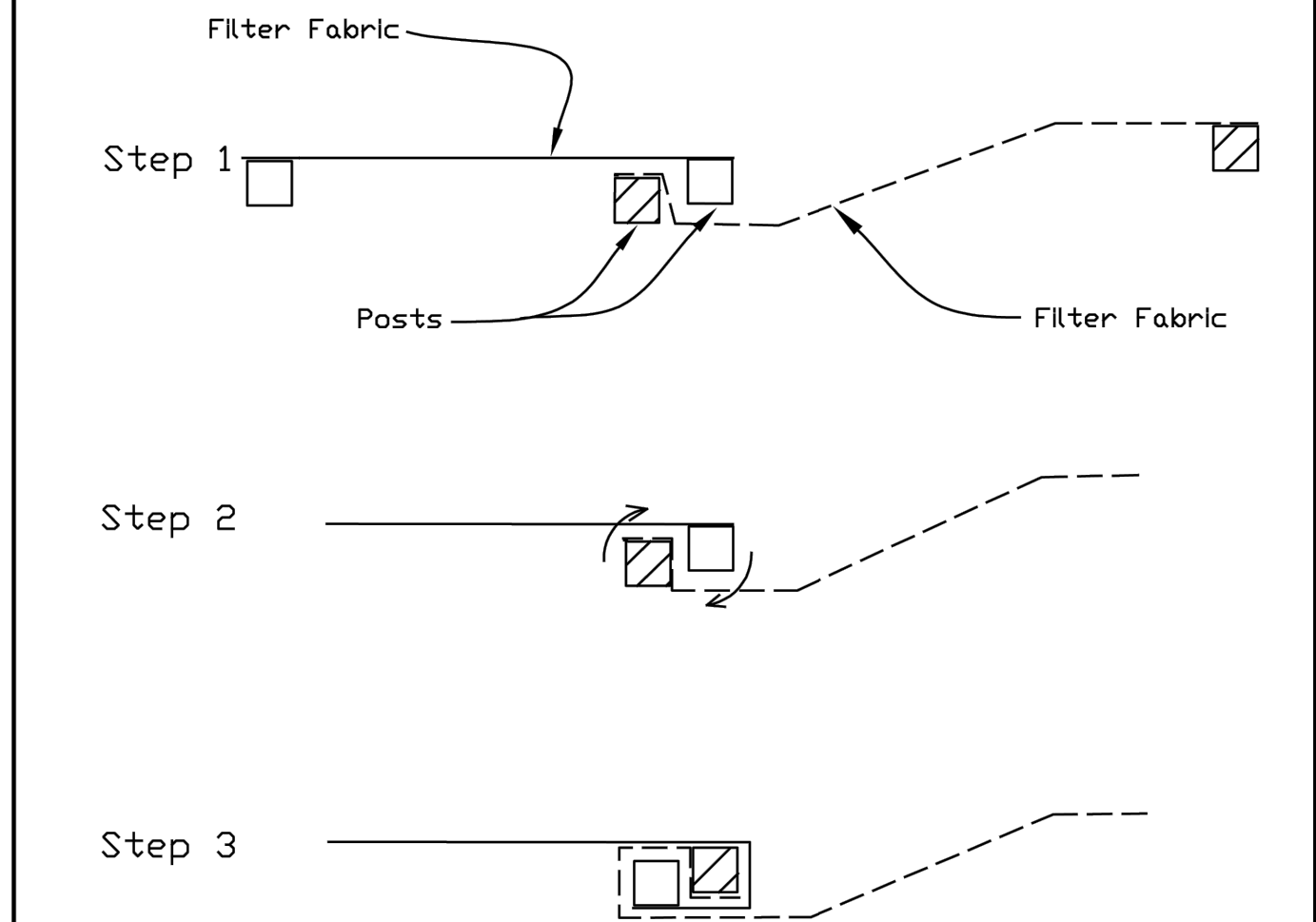
FABRIC ANCHOR DETAIL

- NOTES:
1. Temporary sediment fence shall be installed prior to any grading work in the area to be protected. They shall be maintained throughout the construction period and removed in conjunction with the final grading and site stabilization.
 2. Filter fabric shall meet the requirements of material specification 592 Geotextile Table I or 2, Class I with equivalent opening size of at least 30 for nonwoven and 40 for oven.
 3. Fence posts shall be either standard steel post or wood post with a minimum cross-sectional area of 3.0 sq. in.

REFERENCE	STANDARD DWG. NO.
Project _____ Date _____	IUM-620A
Designed _____ Date _____	SHEET 1 OF 2
Checked _____ Date _____	DATE 3-16-12
Approved _____ Date _____	



SILT FENCE - SPLICING TWO FENCES



ATTACHING TWO SILT FENCES

1. Place the end post of the second fence inside the end post of the first fence.
2. Rotate both posts at least 180 degrees in a clockwise direction to create a tight seal with the fabric material.
3. Cut the fabric near the bottom of the stakes to accommodate the 6' flap.
4. Drive both posts a minimum of 18 inches into the ground and bury the flap.
5. Compact back-fill (particularly at splices) completely to prevent stormwater piping.

REFERENCE	STANDARD DWG. NO.
Project _____ Date _____	IUM-620B(K)
Designed _____ Date _____	SHEET 1 OF 1
Checked _____ Date _____	DATE 3-16-2012
Approved _____ Date _____	



FLEXSTORM CATCH-IT FILTERS FOR TEMPORARY INLET PROTECTION
PRODUCT SELECTION AND SPECIFICATION DRAWING

Product selection for FLEXSTORM CATCH-IT Filters (Temporary Inlet Protection)							
IDOT Standard	Neuh Casting	East Jordan Casting	Inlet Type	Grate Size	Flow Rating I. BAG (FPI)	ADS PN	
1	1713, 1762, 1772, 2504	1025, 1052, 1059, 1098	Round (RD)	22.25 x 22.5	1.9	1.3	62MSGLT1
2	R3011C2-A, R3011A	7170, 7171	Round Cut (RC)	22.25 x 16.25	1.6	0.6	62MSGL216
3	R3013A	7220, 7221	Curb Box (CB)	22.0 x 16.9	1.5	1.0	62MSGLT3
4	R3043B	5105	Square/Rect (SQ)	21.75 x 14.75	1.5	1.0	62MSGL
6	R3023-A	7228	Round Cut (RC)	22 x 22.75	2.3	1.2	62MSGLT6
8	2501, 4348-C, 4350, 4350	2830, 2870, 4927	Round (RD)	BayView (BAY) Grates	2.3	1.6	62MSGLT8
9	R3006-A2	7300	W/Grate	22.75 x 22.4	2.5	1.2	62MSGL
10	R3006-A2	7281	W/Grate	19.25 x 19.25	1.7	1.0	62MSGL
11	R3011A	7210	Curb Box (CB)	26.75 x 11	2.2	1.1	62MSGLT11
12	R3003B	7180	Round Cut (RC)	26.75 x 17.25	2.6	1.3	62MSGL
20	R3028-V, R3029-V	7536, 6380, 7538 (g. gr.)	Square/Rect (SQ)	22.5 x 22.5	2.4	1.2	62MSGLT20
21	R3027V	7540	Curb Box (CB)	22.5 x 22.5	2.4	1.2	62MSGL
23	R3025-L	7464	Square/Rect (SQ)	24 x 16.25	2.0	1.0	62MSGLT23
24	R3025-L	7467	Square/Rect (SQ)	24 x 22.25	2.3	1.2	62MSGLT24
31	---	7250	Round Cut (RC)	25.75 x 16.75	2.5	1.2	62MSGL
B	R3455C	---	Square/Rect (SQ)	36 x 24	4.6	1.7	62MSGL
Q31G4	R3001-U	7545	Single W/Flap	13.75 x 20.2 x 22.5	1.3	0.9	62MSGLQ3
	R-3007	7030	Curb Box (CB)	35.5 x 18.0	3.8	2.2	62LCBL3018
	R-3010	---	Curb Box (CB)	23 x 16	1.5	1.0	62MSGL
	R-3011-L1A	7010	Curb Box (CB)	23 x 16	1.5	1.0	62MSGLT010
	R-3011-P	7025	Round Cut (RC)	23 x 19	2.4	1.2	62MSGL3011-P
	R-3011-TR	7465	Round Cut (RC)	28 x 23.5	3.1	1.4	62LSGL3011-TR

INSTALLATION:

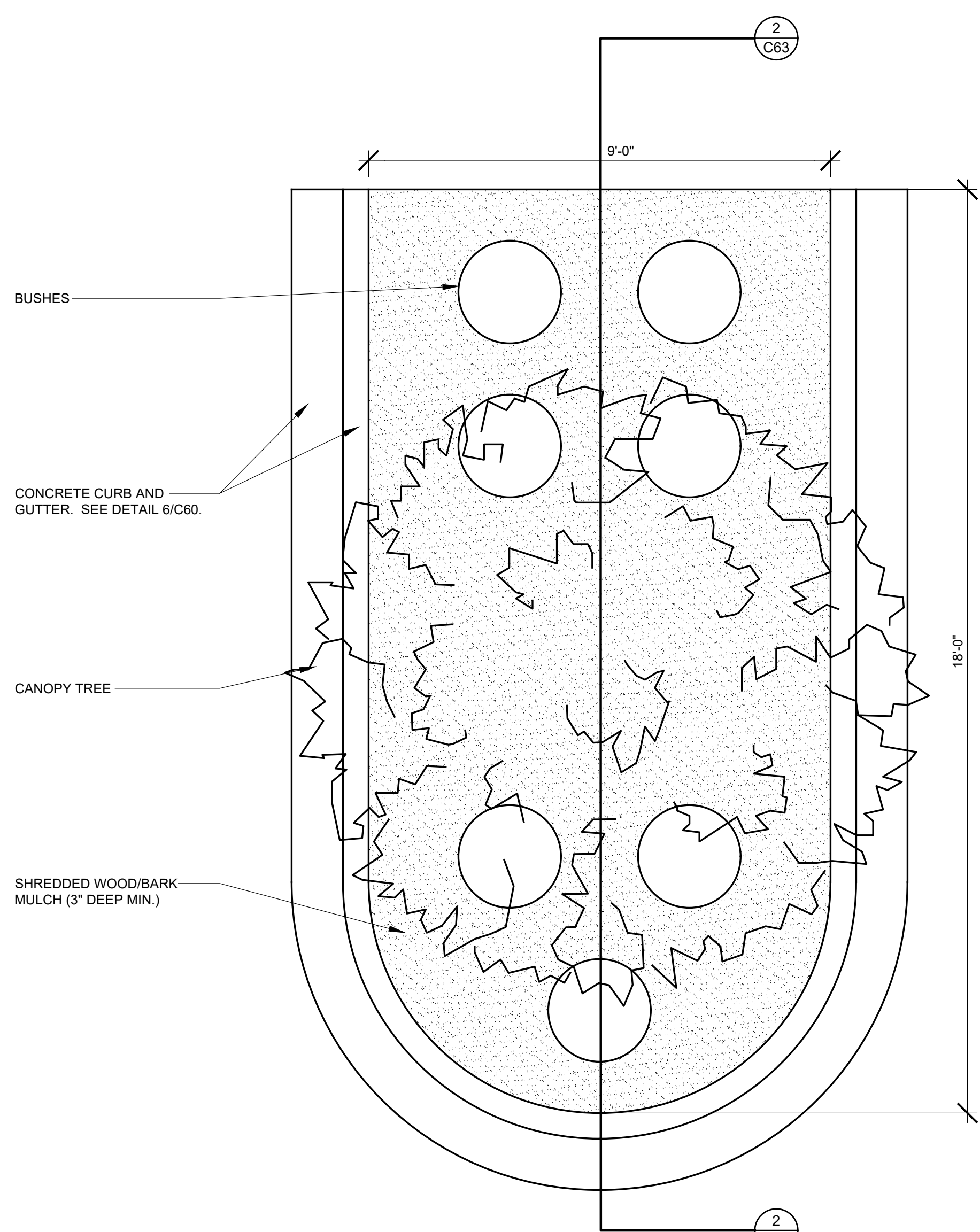
1. REMOVE GRATE
2. DROP FLEXSTORM INLET FILTER ONTO LOAD BEARING SURFACE OF CASTING OR CONCRETE STRUCTURE
3. REPLACE GRATE

NOTES:

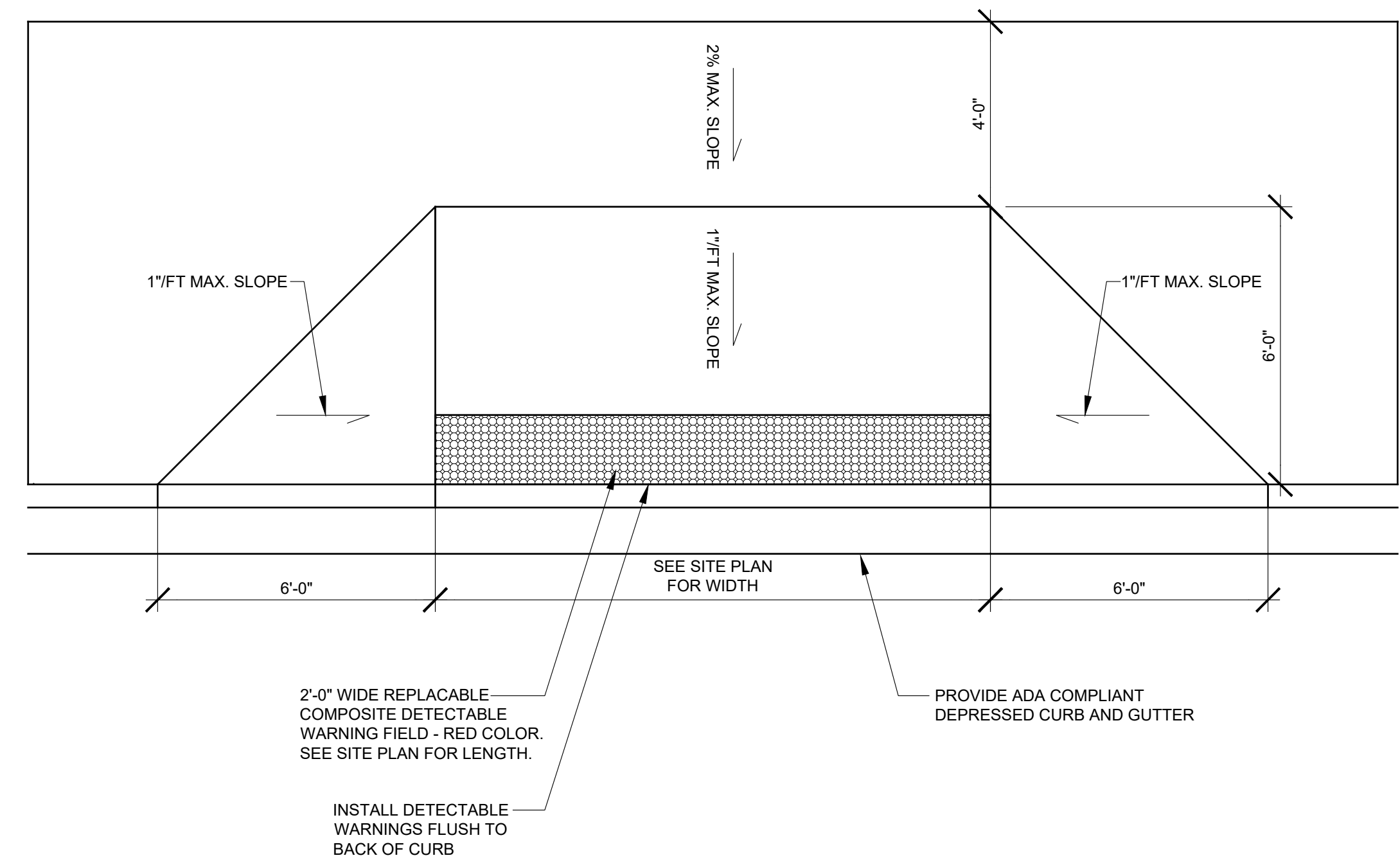
1. ALL FRAMING IS CONSTRUCTED OF CORROSION RESISTANT STEEL FRAMING FOR PROLONGED PRODUCT LIFE.
2. TOTAL BYPASS CAPACITY WILL VARY WITH EACH SIZED DRAINAGE STRUCTURE. FLEXSTORM DESIGN FRAMING BYPASS TO MEET OR EXCEED THE DESIGN FLOW OF THE PARTICULAR DRAINAGE STRUCTURE. CONCRETE STRUCTURES MAY REQUIRE ADDITIONAL REVIEW.
3. UPON ORDERING THE ADS PN COMBINATION OF THE DOT CALLOUT, FLEXSTORM ITEM CODE, CASTING MAKE AND MODEL, OR DETAILED DIMENSIONAL FORMS MUST BE PROVIDED.
4. FOR WRITTEN SPECIFICATIONS AND MAINTENANCE GUIDELINES VISIT WWW.INLETFILTERS.COM

ALL PRODUCTS MANUFACTURED BY INLET & PIPE PROTECTION, INC. A DIVISION OF ADS, INC. WWW.INLETFILTERS.COM (866) 287-8655 PH (800) 355-9477 FX INFO@INLETFILTERS.COM

02/2026 4:38 PM DAN ROEBER@INSP - IL\WIP\PROJECTS\Homer Consolidated SD 33-C30019 19_Goodings Grove Pig Lot-Seal Coating 3 Schools\2 Design\CAD Files\2436 & 30x42 Title Sheet and Details - HCS033 Goodings Grove 2026-03-19.dwg
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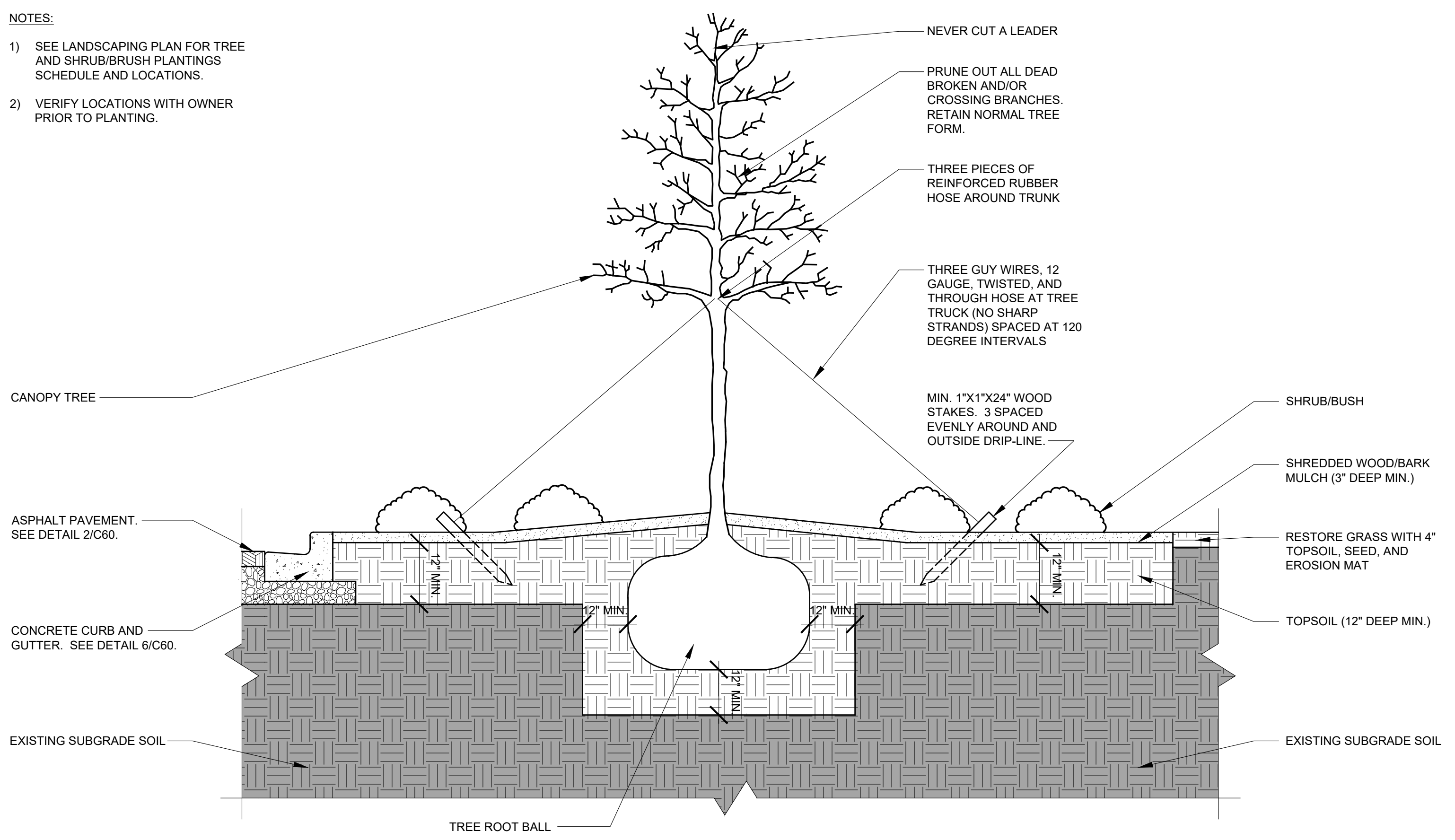


PLAN VIEW LANDSCAPE CURB ISLAND
 1 C63 1" = 2'-0"



ADA RAMP TYPICAL TYPE I DETAIL
 4 C63 NO SCALE

- NOTES:
- SEE LANDSCAPING PLAN FOR TREE AND SHRUB/BRUSH PLANTINGS SCHEDULE AND LOCATIONS.
 - VERIFY LOCATIONS WITH OWNER PRIOR TO PLANTING.



SECTION VIEW LANDSCAPE ISLAND
 2 C63 1" = 2'-0"

PLAN VIEW

ELEVATION VIEW

PLAN VIEW NOTES

- INLET WIDTH AND DISTANCE BETWEEN BACK OF CURB AND RAIN GUARDIAN TURRET MAY VARY WITH SITE CONDITIONS.
- CONCRETE BASE EXTENDS BEYOND THE FILTER WALL OF THE RAIN GUARDIAN TURRET TO SERVE AS A SPLASH DISSIPATOR.

3D VIEWS

ELEVATION VIEW NOTES

- THE TOP OF THE CLASS 5 BASE (COMPACTED TO 95% STANDARD PROCTOR) IS PRECISELY 1' 4" BELOW THE GUTTERLINE ELEVATION.

SPECIFICATIONS

- STEEL REINFORCED, COLD JOINT SECURED MONOLITHIC CONCRETE STRUCTURE (1,030 LBS). CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,500 PSI AT 28 DAYS. CONCRETE AIR ENTRAINED (5% TO 8.5% BY VOLUME), MANUFACTURED AND DESIGNED TO ASTM C858.
- THREE-POINT PICK USING RECESSED LIFTING POCKETS WITH A STANDARD HOOK.
- FIBERGLASS TOP GRATE (32 LBS, 1-1/2" THICK) - 1,760 LB CONCENTRATED LOAD OR 409 LBS/SQ-FT UNIFORM LOAD.

INSTALLATION NOTES

- INSTALL THE CLASS 5 BASE (COMPACTED TO 95% STANDARD PROCTOR). THE DISTANCE FROM THE BACK OF THE CURB MAY VARY BASED ON SITE CONDITIONS, BUT CONSIDERATIONS SHOULD INCLUDE SLOPE OF THE INLET AND BASIN SIDE SLOPES ADJACENT TO THE RAIN GUARDIAN TURRET. POSITION RAIN GUARDIAN TURRET SO PRIMARY OUTLET ALIGNS WITH TOE OF BASIN SIDE SLOPE TO AVOID SOIL INTERFERENCE WITH REMOVABLE FILTER WALL. EXCAVATE 1' 10" BELOW THE GUTTERLINE ELEVATION (I.E. THE BIORETENTION OVERFLOW ELEVATION) TO ACCOMMODATE THE 1' PONDING DEPTH, 6" CLASS 5 AGGREGATE, AND 4" RAIN GUARDIAN TURRET BASE (INCLUDED). THEREFORE, THE TOP OF THE CLASS 5 COMPACTED BASE IS PRECISELY 1' 4" BELOW THE GUTTERLINE ELEVATION. THE INLET TO THE RAIN GUARDIAN TURRET WILL BE 10-1/2" ABOVE THE TOP OF THE CONCRETE BASE AND 1-1/2" BELOW THE GUTTERLINE ELEVATION TO ACCOMMODATE A SLOPED INLET FROM THE GUTTER TO THE RAIN GUARDIAN TURRET.
- SET RAIN GUARDIAN TURRET ON THE PREPARED CLASS 5 BASE.
- INSTALL FRAMING FOR INLET BETWEEN RAIN GUARDIAN TURRET AND BACK OF CURB. TOP ELEVATIONS OF THE FRAMING SHOULD MATCH THE TOP OF THE CURB ON THE STREET SIDE AND THE TOP OF THE RAIN GUARDIAN TURRET ON THE BIORETENTION SIDE.
- INSTALL EXPANSION/CONTRACTION JOINT MATERIAL OR A SHEET OF POLY TO SERVE AS A BOND BREAK BETWEEN RAIN GUARDIAN TURRET AND CONCRETE INLET BEFORE POURING INLET.
- SIDE CURBS OF THE POURED INLET MUST HAVE AN INSURMOUNTABLE PROFILE TO PREVENT WATER FLOW FROM OVERTOPPING THE DOWNSTREAM SIDE OF THE INLET.
- REMOVABLE FILTER WALL SHOULD BE INSTALLED WITH FILTER FABRIC ON THE INTERIOR SIDE OF THE RAIN GUARDIAN TURRET.

RAIN GUARDIAN
 PRETREATMENT FOR BIORETENTION
 Rain Gardens • Swales • Filtration Basins • Infiltration Basins
www.RainGuardian.biz

**RAIN GUARDIAN TURRET
 PRETREATMENT CHAMBER
 BIORETENTION PONDING DEPTH: 1'
 TYPICAL DETAIL**

REVISION HISTORY

REV	BY	DATE	DESCRIPTION
A	MDH	11/16/2022	TURRET - 1'

DEVELOPED BY:

MANUFACTURED BY:

SCALE: VARIABLE
 U.S. PATENT NOS. 8,501,016 AND 8,558,804

RAIN GUARDIAN PRETREATMENT DEVICE DETAIL
 3 C63 NO SCALE

Consultants:

Signature:

Issues and revisions:

ISSUE LEVEL / REVISION:	DATE:	No.:
98% COMPLETE	04/18/2025	
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BULK REGS AND TREE PRES.	03/12/2026	
BID SET	03/19/2026	

Client:

**HOMER COMMUNITY
 CONSOLIDATED SCHOOL
 DISTRICT 33C**

**GOODINGS GROVE
 SCHOOL**

Project title:

**PARKING LOT EXPANSION
 AND IMPROVEMENTS**

12914 W 143RD STREET
 HOMER GLEN, ILLINOIS 60491

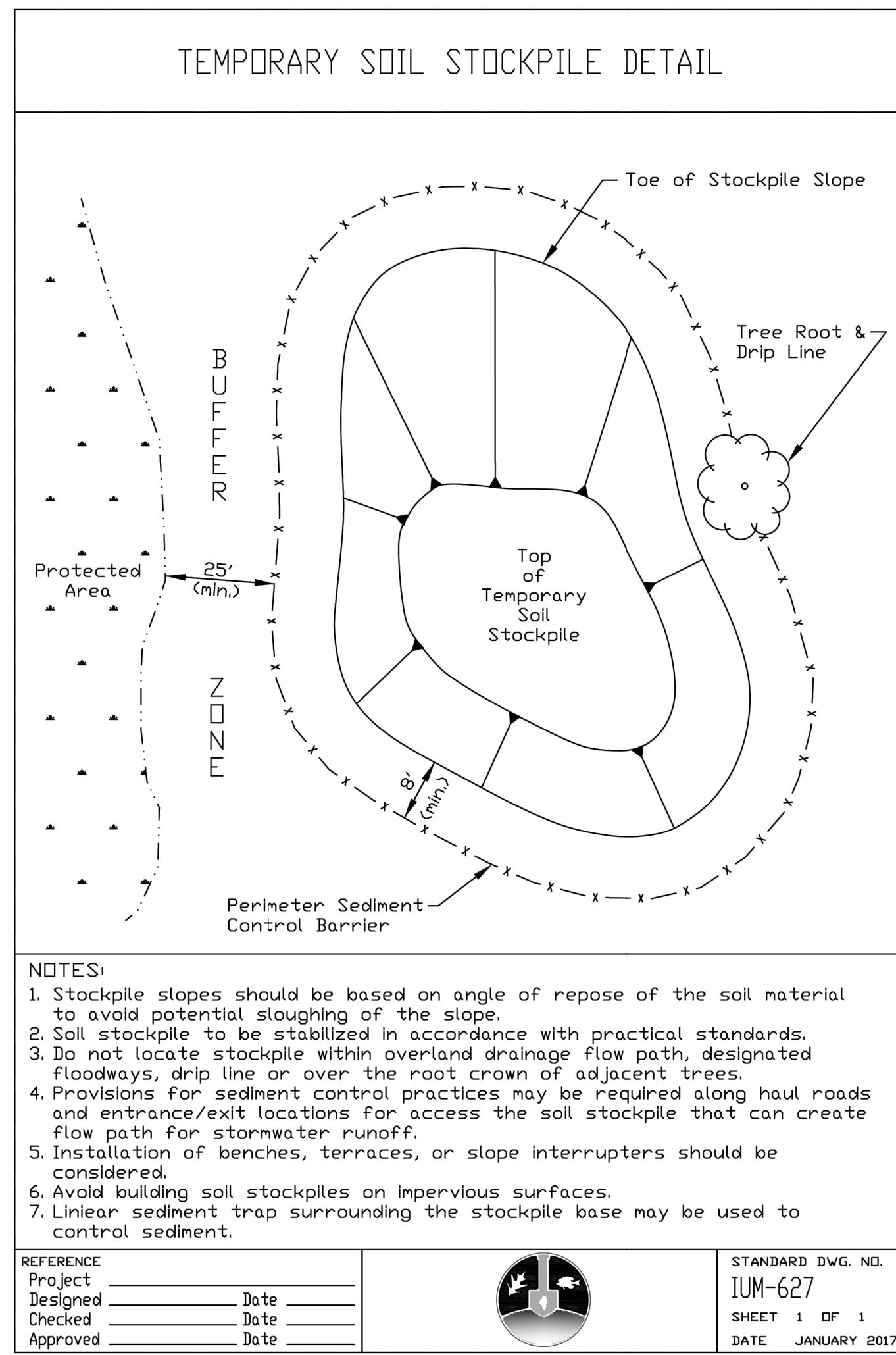
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DETAILS

DATE: 03/19/2026
 CLIENT PROJECT No.: -
 INSPEC PROJECT No.: 301918
 PROJECT MGR: DR
 DRAWN BY: TR
 CHECKED BY: DR

Sheet No.:

3/24/2026 4:39 PM DAN ROEBER@INSPC C:\Users\droeb@inspec\OneDrive - Inspect\inspec - IL\WIP\PROJECTS\Homer Consolidated SD 33-C\301918_Goodings Grove Plg Lot-Seal Coating 3 School\2-Design\CAD Files\2436 & 3042 Title Sheet and Details - HCS333 Goodings Grove 2026-03-19.dwg



Consultants:

Signature:

Issues and revisions:

ISSUE LEVEL / REVISION:	DATE:	No.:
98% COMPLETE	04/18/2025	
REVISED LAYOUT	12/03/2025	
VILLAGE OF HOMER GLEN PLAN		
PLAN REVIEW SUBMITTAL	12/15/2025	
SWMP UPDATE WITH PLAN		
COMMISSION REQUESTED		
BULK REGS AND TREE PRES.	03/12/2026	
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